



Department of Planning,
Lands and Heritage

HERITAGE WORKS

Heritage Revolving Fund
Building on heritage value



Image: DPLH 2018

ROUND HOUSE WITH TURNTABLE, COLLIE CONSERVATION MANAGEMENT PLAN

PREPARED BY THE HERITAGE WORKS UNIT

16 OCTOBER 2018

FINAL

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Round House with Turntable, Collie Conservation Management Plan

Contents

1.0 INTRODUCTION

1.1 BACKGROUND

Round House with Turntable, a single-storey off-form concrete former industrial building with railway turntable, is located on the northern side of Coalfields Highway at the entry to the town of Collie. The place is currently owned by the Department of Planning, Lands and Heritage, with a management order for the place vested in the National Trust (WA).

Heritage Works Branch, Department of Planning Lands and Heritage (DPLH) was requested by the Land Use Management division of the Department (as the ultimate owner of the land) and the Shire of Collie to prepare this conservation management plan to assist with making future decisions about the place. Previously the National Trust had indicated its intention to relinquish its management order over the reserve on which the Round House is located.

The purpose of this conservation plan is to:

- Provide an understanding of the cultural heritage significance of the place;
- Provide guidelines for the future use, care, management and redevelopment of the place, and to
- Provide a prioritised schedule of conservation works and a program for ongoing maintenance at the place.

1.2 STUDY AREA

Round House with Turntable is approximately 170 kilometres south-east of Perth CBD, at the entry to the town of Collie in the local government area of Collie. (**Figs. 1 & 2**).

Round House with Turntable is located on Lot 561 of Plan 68077, Volume LR159, Folio 771, Reserve 47127.

The Heritage Council's registered curtilage for the place is illustrated in **Fig. 3**.

The study area for the purposes of this report comprises the registered curtilage, not the entire lot, as per the brief for the document.

1.3 METHODOLOGY

The methodology adopted for this report is based on that set out in James Semple Kerr's *The Conservation Plan* (Australia ICOMOS, 7th edition, 2013), the *Australia ICOMOS Burra Charter* (2013) and the Stage Heritage Office publication *An Information Guide to Conservation Management Plans* (January 2013).

The site was inspected officers of the Heritage Directorate, Department of Planning, Lands and Heritage on 5 December 2017 and 13 March 2018, and documented photographically and in drawings.

1.4 HERITAGE LISTINGS

Round House with Turntable is included on the following heritage lists:

- | | |
|-------------------------------------|-------------------------------------|
| • State Register of Heritage Places | Interim registration 28 August 1992 |
| • Heritage List | Adopted 14 November 2017 |
| • National Trust | Classified 8 March 1988 |
| • Municipal Inventory | Adopted 30 April 1996 |

Round House with Turntable, Collie Conservation Management Plan

Introduction



Fig. 1 Aerial image showing location of *Collie Round House with Turntable* in the context of the township of Collie. (Google Maps, accessed 15 March 2018)



Fig. 2 Aerial image showing location of *Collie Roundhouse with Turntable* in its local context. (Google Maps, accessed 15 March 2018)

As the place is registered on the State Register of Heritage Places the requirements of the *Heritage of Western Australia Act (1990)* must be observed. This includes referring all development proposals to the Heritage Council for advice. Local government authorities are required to include the Heritage Council's advice in any approvals they issue.

As the place is on the Shire of Collie's Heritage List all development proposals will require planning approval.

Adoption on the Municipal Inventory and classification by the National Trust is recognition of the cultural heritage significance of the place, but does not have statutory implications.

1.5 STUDY TEAM

Department of Planning, Lands & Heritage, Heritage Services, Heritage Works

Janine Symons	Senior Technical and Heritage Officer
Courtenay Heldt	Senior Project Manager

Professional Historian

Dr Robyn Taylor PhD, MPHA

1.6 DEFINITIONS AND ACRONYMS

This conservation management plan utilises terms arising from the Burra Charter. Some key definitions are listed following:

Place means site, area, land, landscape, building, or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural Significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, records, *related places* and *related objects*. Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a place so as to retain its *cultural significance*.

Maintenance means the continuous protective care of the fabric and setting of a *place*, and is to be distinguished from repair. Repair involves *restoration* or *reconstruction*.

Preservation means maintaining the *fabric* of a place in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new materials into the *fabric*.

Adaptation means modifying a *place* to suit the existing *use* or a proposed use.

Use means the functions of a *place*, as well as the activities and practices that may occur at the place.

Compatible use means a *use* which respects the *cultural significance* of a place. Such a use involves no, or minimal impact, on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of a place but is not at the place.



Fig. 3 Aerial image showing extent of Lot 561 shaded. Heritage Council registered curtilage is outlined and is the western extent of the lot. (DPLH, October 2018)

Related object means an object that contributes to the *cultural significance* of a place but is not at the place.

Associations mean the special connections that exist between people and a *place*.

Meanings denote what a *place* signifies, indicates, evokes or expresses.

Interpretation means all the ways of presenting the *cultural significance* of a *place*.

Acronyms used in this document include:

HCWA Heritage Council of Western Australia

DPLH Department of Planning Lands & Heritage

1.7 PHOTOGRAPHS, PLANS AND REFERENCES

Archival images have been obtained from a range of sources, and are referenced as required.

All current photographs, unless otherwise noted, were captured by Heritage Directorate staff.

Unless otherwise noted, current plans are oriented with north towards the right hand side of the page.

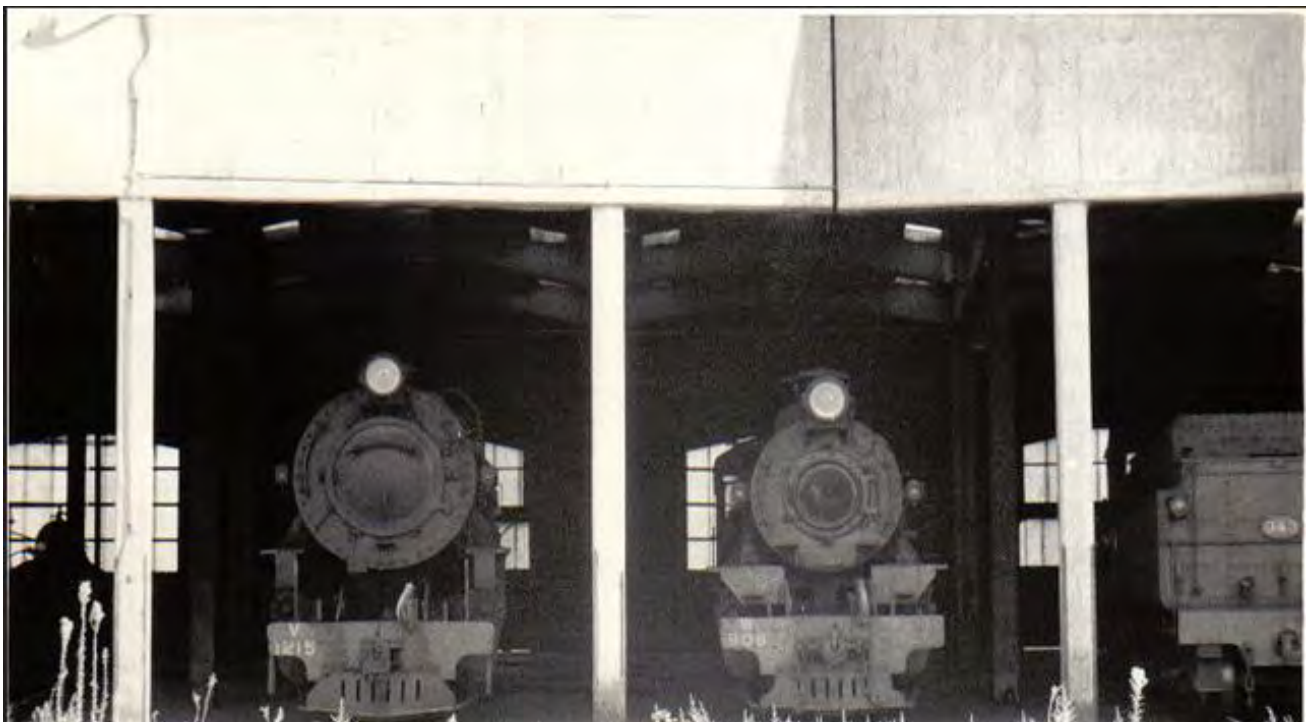
References are footnoted at the bottom of each page, and a full list of references is provided in **Section 9.0 References**.

Round House with Turntable, Collie Conservation Management Plan

Introduction



Archival image 1 View showing three engines in eastern portion of Round House, January 1972 (Image: www.railpage.com.au/photos/65905, accessed 26 March 2018)



Archival image 2 Front view of picture above. (<https://www.flickr.com/photos/bigalpacker/10286473393/>, accessed 6 June 2018).

2.0 DOCUMENTARY EVIDENCE

Round House with Turntable, Collie, (1954-58) is located on Reserve 47127, situated along Coalfields Road on the western entrance into the town of Collie. The structures were part of a major government railway depot that had been established around 1898 following the discovery of extensive coal seams in the Collie region.

The government's railway system began in January 1880 under the control of the Department of Works and Railways. Prior to this, in the 1870s, railways had been privately built to service the timber industry. Pressure on the government saw its first line constructed between Geraldton and Northampton. The construction of this line revealed the need for a professional approach to building and was the catalyst for the emergence of the Public Works Department.¹ In October 1890 a dedicated railway department, the Western Australian Government Railways (WAGR), was established.

The gold boom of the 1890s in the Eastern Goldfields triggered massive economic growth in tandem with the development of a vast network of main rail lines and branches to service growing industries. Bunbury harbour benefited with improvements, and railway lines were established linking Busselton, Collie and Bridgetown to Bunbury and Perth. These lines were particularly important for the timber industry.² During the 1890s the South-Western, Great Southern and Eastern railways were completed.

The building of infrastructure required reliable sources of power and coal was a prized commodity for the production of power for steam ships, the rapidly expanding rail system, and civic and domestic use. Lacking local sources, supplies of coal were shipped from Newcastle in New South Wales.

The increasing need for power led the colonial government to offer a reward for the discovery of a major coal deposit. Back in 1883, George Marsh and Arthur Perren discovered a coal seam in the bed of the Collie River, however their find did not become public knowledge until 1889. A favourable report from the government's geologist led to an exploratory mine being established in 1894. Once the quality of the coal and its extent was established the Collie coalfield was declared in 1896 and the government's coal mine offered for tender. It was re-opened as Wallsend in 1898. A railway line and depot were established (completed 1898), and a Goods Shed (1898) designed by the government engineer C Y O'Connor.

By 1900 Collie and its coalfields were thriving, having produced over 100,000 tons of coal.³ It was declared a separate Roads District in 1900, then in 1901 it was granted Municipal privileges.⁴

Several small collieries were subsequently established in the region which became consolidated into the Amalgamated Collieries in 1920. The Griffin Coal Mining Company began operations in 1927, and in 1949 Western Collieries.⁵

Additional infrastructure at the railway depot during these early decades include a loop siding (1908), locomotive washout plant and engine drop pit (1910), machine shed (1916), a goods shed (1923),*trainman's barracks (1929), a wagon repair shop and mechanical coaling plant (1938).⁶

In 1925 the Western Australian Government Railways [WAGR] and Tramways began discussing the provision of 70-foot turntables to Brunswick Junction, Bunbury, Albany, Chidlaws, Midland Junction and Pemberton, 'indirectly'.⁷

1 J.S.H. Le Page, *Building a State, The Story of the Public Works Department of Western Australia 1829-1985*, Water Authority of WA, 1986, p.113.

2 *Historical Encyclopedia of Western Australia*, [HEWA] J Gregory and J Gothard (eds), UWA Press, 2009, p.828

3 HEWA, p.828.

4 *Twentieth Century Impressions of WA*, P W H Thiel & Co., Perth, WA, 1901. Facsimile edition Hesperian Press, Victoria Park, 2000, p.560.

5 HEWA, pp.208, 587.

6 Historical development of the railway depot in Greg Rowe & Associates, Collie Landuse Plan for Non-Operational Railway Reserve, prepared for Westrail, c.1997 p.14. All these structures apart from the goods shed have since been demolished.* The 1898 Goods Shed is still in situ. The report may have incorrectly dated this building.

7 WAGR, S1247 Cons 1389 1939/06621, Pt 1, letter dated 18 November 1925.

Round House with Turntable, Collie Conservation Management Plan

Documentary Evidence

Turntables were used to turn rolling stock, in particular steam locomotives, around so they could move back into the direction from whence they came. They were also used to shunt locomotives into engine maintenance and repair sheds. In the case of Collie, this was to take the form of a round house that partly surrounded the turntable.

During the immediate post war years, the demand for energy rapidly increased.

Most of the state's proven energy reserves existed in the Collie coalfields, and one of the major loads the railways carried was coal for steam-powered machinery, including for the railways themselves. From the end of the Second World War the state government embarked on a program to transmit electrical energy across the settled south-west corner of the state and an interconnected system of power stations, transmission lines and distribution networks was built up, so that coal mined at Collie was converted to electrical energy in nearby power stations and used across the region.⁸

A power house in Collie had been built by the Collie Power Co and officially opened in March 1931. The power station was to supply the mines of Amalgamated Collieries of WA Ltd, the town of Collie, and neighbouring districts. The fuel used was pulverized coal. 'The Collie power station was the first in Western Australia to use pulverized coal for firing and is claimed to have been the first in Australia originally designed to use coal in powdered form.'⁹ The power station was acquired by the State Electrical Commission in 1946. It was 'enlarged and converted to 50 cycles. It then formed the first unit of the South West Power Scheme.'¹⁰

During this time, in 1943, open-cut mining commenced in Collie which led to record figures for coal production.¹¹

In 1950 the decision was made to obtain four turntables for Collie, Donnybrook and Bridgetown, with one spare. Initially they were to be 85 feet in diameter designed for standard gauge and narrow-gauge lines. Tenders were called, but then it was decided that Beyer-Garrett articulated locomotives were essential to handle the type of locomotive traffic that was anticipated. The tender was revised to 100 feet x 20 ton turntables and the two firms that had previously submitted the lowest tenders, Messrs Cowans & Sheldon, and Maschinenfabrik Augsburg-Nurnberg (M.A.N.) whose manufacturing plant was based in West Germany, were invited to resubmit. The contract was awarded to M.A.N. whose agent in Australia was C. Wykeham & Co in Melbourne. 'Cost to Railway £64,00; Cost to Australia £40,000'.¹² The electrical components for the four 100 ft electrically operated articulated turntables were being supplied by Siemens. Articulation meant the turntable did not require the locomotive to be balanced before turning but could turn on the power of the electric motors.¹³

By 1952 there was a change in thinking about where the turntables would be allocated. Apart from Collie and Bridgetown, the other locations were Bassendean, and either Narrogin or Picton Junction. In relation to Collie, mention of the round house is made when it was noted that 'following the discussions on the Loan Estimates on Tuesday 29th [July 1952], funds allocated to Collie have been tentatively reduced to £60,000, which amount will not provide for construction of the round house, and it does not appear likely that this table will be required before the end of 1953.'¹⁴ Correspondence indicates earlier turntables had been made from cast iron, and now they were being constructed with steel.

8 HEWA, p.886.

9 De Burgh, J., The Development of a State Government Electricity and Gas Supply in Western Australia, Part One, p.117. Unpublished manuscript in possession of R. Taylor.

10 De Burgh, p.118.

11 HEWA, p.587.

12 WAGR, S1247 Cons 1389 1939/06621, Pt 1, Correspondence from WAGR Civil Engineering Board to Secretary of WAGR Commission dated 11 November 1950, p.217.

13 Email from Jeff Austin, Rail Heritage WA, 23 January 2018.

14 Correspondence from Chief Civil Engineer to Secretary of WAGRC, 8 August 1952. (Part 2). Unfortunately, no WAGRC files on the construction of the round house could be found, and little reference is made to the round house in the WAGRC files dedicated to the 100' turntables. An undated memo [1988] to the National Trust from a researcher working with Westrail indicates a file relating to the building of the structures in the Collie railway precinct had been destroyed many years before. National Trust, Collie File 6.

In February 1954 in Germany, the first of the turntables was successfully load tested for 325 tons in order to check the electrical turning gear. The first two turntables arrived at Fremantle in June that year, with one being dispatched to the construction site at Collie. Of the four turntables ordered by WAGR, only one was assembled and installed. The other three turntables were placed in storage upon arrival and eventually disposed of in the early 1970s.¹⁵

The following year in 1955 a contract was let for the new round house, and foundations for the turntable. 'The round-house will consist of 14 radial bays, each 82'6" deep, six bays being set aside for a workshop area and 8 for steam cleaning and hot and cold water washout.'¹⁶ Existing plan drawings for the 'Engine Roundhouse' dating from August 1954 to December 1958 cover the construction of cross beams, aluminium framed windows, side walls, roof access, separating tanks and manholes, steelworks for engine pits, water services and outer periphery wall.¹⁷

In 1956 the reinforced concrete round house was completed. Additional information is supplied in the WAGRC 1956 Annual Report.

Each bay has an engine pit, 78' long and with special provision for conversion to 4' 8½" gauge A 100' power articulated turntable will be provided during the coming year with workshops, offices, amenities block, permanent way and coaling and watering facilities. The laying of 1,400 feet of 3 foot re-inforced concrete pipes to drain the roundhouse and west Collie yard is in progress.¹⁸

The watering facilities would have included the three 5,600 gallon tanks that were erected on the site. There is reference to a Braithwaite type tank.¹⁹ By June 1957 the turntable had been installed at the round house, while other works in the locomotive yard were still in progress. The new locomotive depot was finally completed and in use by April 1959.²⁰ Other structures on the site included a diesel locomotive shed and diesel locomotive and wagon inspection pits, both dated 1954-1958, that have since been demolished.

The working life of the steam depot was to be relatively short-lived. Industrial unrest on the coalfields during the late 1940s and 1950s had led to some classes of engines being temporarily fitted with oil burners. 'In 1961 the coal industry was dealt a serious blow when oil replaced coal as a preferred fuel over a broad spectrum of Government and private users.'²¹ On 24 December 1971, the last steam locomotive, the "S549", left Collie.²² With Westrail fully converting to diesel locomotives the round house was decommissioned.²³

During the 1980s, the declining use of the railway for transporting coal and goods saw the demise of the railway depot.

In 1988 the National Trust of Australia (WA) was undertaking heritage assessments of buildings and structures in Collie for the purpose of classification. These included the 1898 Railways Goods Shed, and the Round House and Turntable. Contact with Westrail, the trading name for WAGR, produced construction drawings from which dates of construction could be obtained. Apparently, a file recording the building of the structures 'had been destroyed years ago.'²⁴ Photocopies of 14 photographs taken in November 1955 showing the construction of the round house were provided.²⁵ The Round House with Turntable was classified on 8 March 1988, and subsequently given Interim entry on the State Register on 28 August 1992.²⁶ 'The last time the turn-

15 Memo dated 14 June 1972. Internal correspondence about this matter of disposal had been going on since 1963. Cons 3273, 1978/2935 – 100ft turntables, p.60.

16 WAGRC Annual Report, 1955, p.24, Battye Library.

17 WAGRC Plan drawings, Civil Engineering Branch, Collie Loco Depot, Engine Roundhouse, Plan Nos.43626, 43985, 43988, 44032, 44032/4, 44046/4 depicting the 100ft articulated turntable, 47887, 48106/2, and 48483/3.

18 WAGRC Annual Report, 1956, pp.19, 23.

19 S4070 Cons.3273 1978/2925, internal memo dated 13 June 1957, p.34.

20 WAGRC Annual Report, 1959, p.18.

21 Stedman, Catherine (ed.), 100 Years of Collie Coal, Curtin University of Technology, WA, 1988, p.292.

22 Stedman, *ibid*.

23 *The Westland*, The Journal of Rail Heritage WA, Issue 283, 2016/17, pp.16, 19.

24 Undated memo from W. Plumb, researcher, Westrail. The memo is stamped Received 10 June 1988. Trust Collie File 6.

25 National Trust Collie File 6.

26 *Round House with Turntable*, Place No.0541. The Register documentation was based on the National Trust assessment which contained very little information concerning the history of the Round House and Turntable.

table appears to have been used for turning a steam locomotive was a “Hotham Valley Railway” locomotive in 1992.²⁷

By the 1990s, ‘Most of the sidings in the rail reserve were removed and many structures demolished. The round house, turn table and goods shed are the only substantial structures remaining in the railway reserve.’²⁸

In 1997 Westrail commissioned the preparation of a land use plan for the now non-operational rail reserve at Collie which was in a state of disrepair and subject to vandalism. The plan included a Preliminary Site Assessment (PSA) for potential contamination of the reserve. At the time the Reserve contained a fuel depot, a chromatic water tank, a wastewater treatment tank, and three other structures including two service stations.²⁹

The report noted the Shire of Collie’s concern for the place, and its future.

There has however, been a definite absence of individuals or groups within the community willing or prepared to take on the task of either refurbishing or redeveloping the Roundhouse. As a result, it is apparent, at this time that the most appropriate option for the existing building is to ensure that public safety is ensured and access to the site is limited to secure viewing points only. It is important to ensure that public viewing of the site is available given the significant place that the Roundhouse has in the heritage of both Collie and Western Australia.³⁰

In December 2008, the Trust expressed concern to the Public Transport Authority about the deteriorating condition of the railway round house in Collie, pointing out that it was a significant cultural site, and there were concerns by the local community about its future. The Trust requested the Authority to consider transferring the place into its care so that its heritage values could be conserved and maintained.³¹ The Trust was advised the round house was situated on land within the Rail Freight Corridor and came under the control of private operator Westnet Rail (WNR) Pty Ltd.³² The Trust’s application to Westnet to become custodians of the site was supported by the Shire of Collie.³³

Eventually in March 2011, the Trust was advised a Management Order had been issued in its favour of Lot 561, on Deposited Plan 68077 as part of Reserve 47127 for the designated purpose of a ‘Miniature Railway’. This was unacceptable to the Trust. Not only was the purpose prescriptive but was ‘potentially outside the scope of the Trust’s Act’.³⁴ The error was soon rectified. In May 2011 the Trust was advised that, ‘Lot 561, 2860 on Deposited Plan 68077, 36230, has been set apart as Reserve 47127, for the purpose of “Heritage Place”’. A Management Order (formerly Vesting Order) has been issued in favour of The National Trust of Australia (WA).³⁵

Several years prior to the Management Order being issued to the Trust, in December 2006, a preliminary environmental site investigation was undertaken by Golder Associates Pty Ltd for the Planning and Property Division of the Perth Transport Authority. Findings on site included potential asbestos containing materials, fibres were observed on the soil surface, and contamination of soil and groundwater in areas associated with oil, diesel and chemical storage. A detailed site investigation was recommended.³⁶

In 2011 the Collie Railway Station Group announced that it had been awarded grant aid of \$150 000 from the Australian Railroad Group (ARG), a private rail freight company, to build a miniature railway at the site. It

27 Email and attachment from Jeff Austin, Rail Heritage WA, 23 January 2018.

28 Conservation Plan, Fmr Railway Good Shed, Collie. Prepared by Hocking Planning & Architecture, May 1996, p.15.

29 Collie Landuse Plan for Non-Operational Railway Reserve, Prepared for Westrail by Greg Rowe and Associates, c.1997, pp.14, 15. Section 6.0 (pp.11-31) deals with Preliminary Site Assessment for Potential Environmental Contamination.

30 Collie Landuse Plan for Non-Operational Railway Reserve, p.35.

31 Letter to Chief Executive Officer, Public Transport Authority dated 18 December 2008. National Trust File Col 6.

32 Letter to CEO, National Trust from PTA, 31 December 2008.

33 Letter to CEO, National Trust from CEO, Shire of Collie, 9 February 2009.

34 Letter from Trust to State Lands, South West, Dept of Regional Development and Lands, 28 March 2011.

35 Letter from Dept of Regional Development and Lands to the National Trust, 27 May 2011.

36 Report on Preliminary Environmental Site Investigation. Collie Roundhouse and Depot, Coalfields Road, Collie, WA. Prepared by Golder Associates Pty Ltd for the Public Transport Authority, Planning & Property Division, January 2007. The report includes aerial photographs of the site taken between 1966 and 2001.

was reported on the front page of the *Collie Mail*, in February 2011, that ‘once a design plan is finalised by the National Trust, the Collie Railway Station Group will present it to the Collie Shire Council. However, the project did not proceed.’³⁷

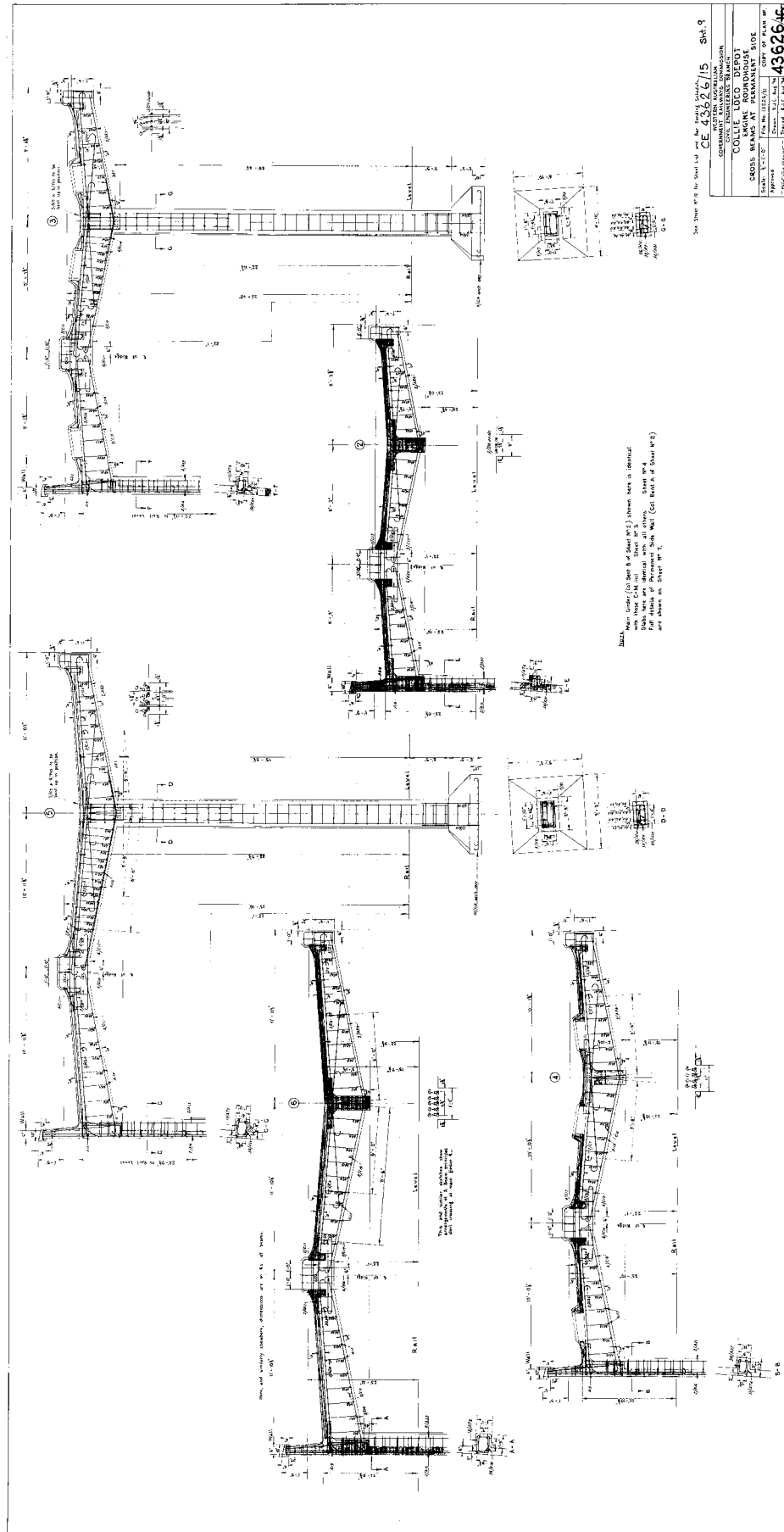
In December 2013 the Collie Heritage and Men’s Shed sought permission to restore the turntable, but were advised by the National Trust’s CEO that the National Trust has recently returned the property to the State Government.³⁸

In June 2016 a report was produced by the Department of Environment Regulation under the Contaminated Sites Act 2003, with the result the site, Lot 561 on Plan 68077, being ‘Classified as Contaminated’ with restricted use.

At the time of preparation of this report (2018), the site continues to be held by the Trust under a Management Order, and the Trust has decided to remove the land from its asset disposal list. It is the subject of renewed discussion about its future use.

37 All Aboard’, *Collie Mail*, 24 February 2011, p. 1

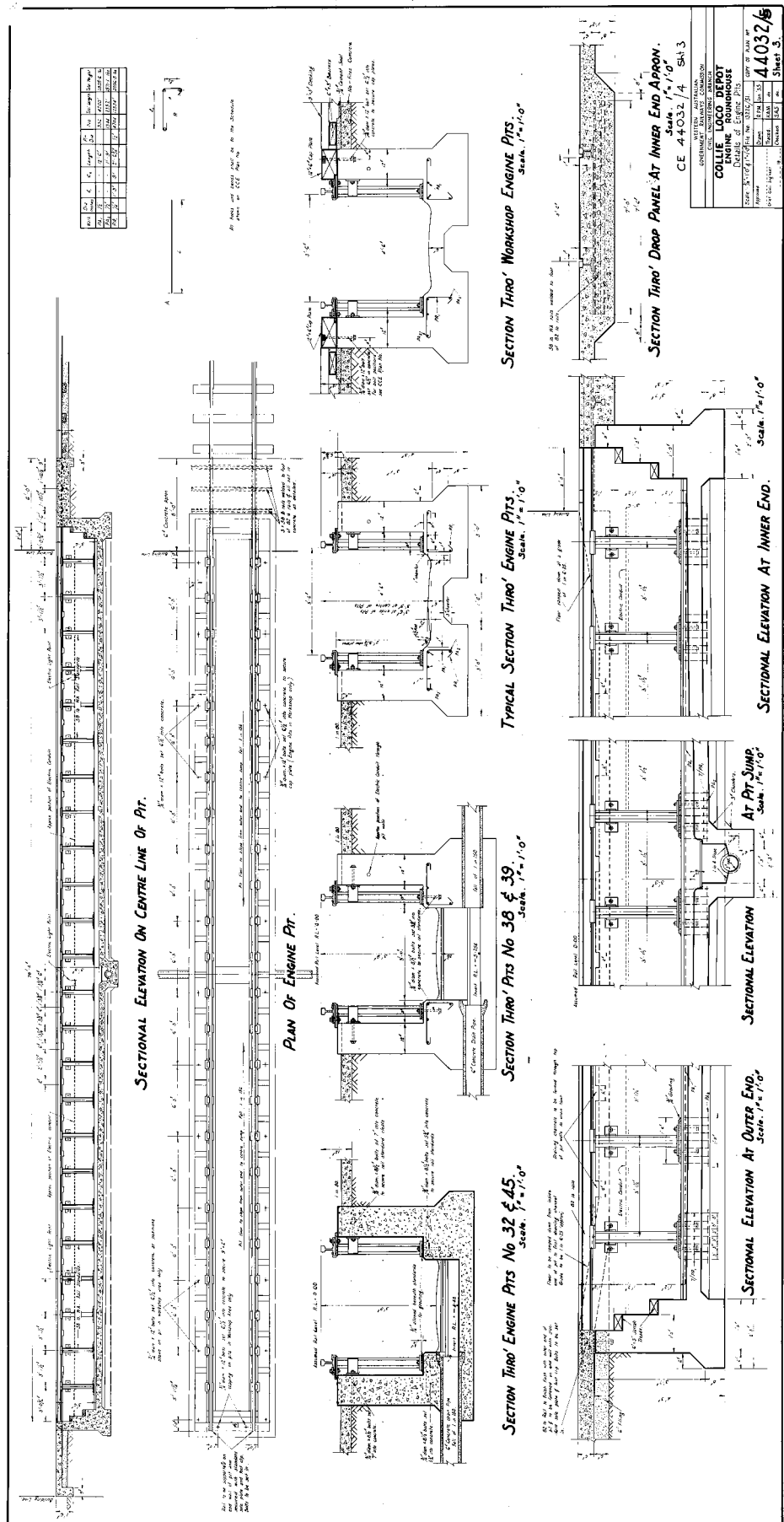
38 Letter from Tom Perrigo, CEO National Trust (WA) to Mrs Jan Wallace, Collie, 6 December 2013.



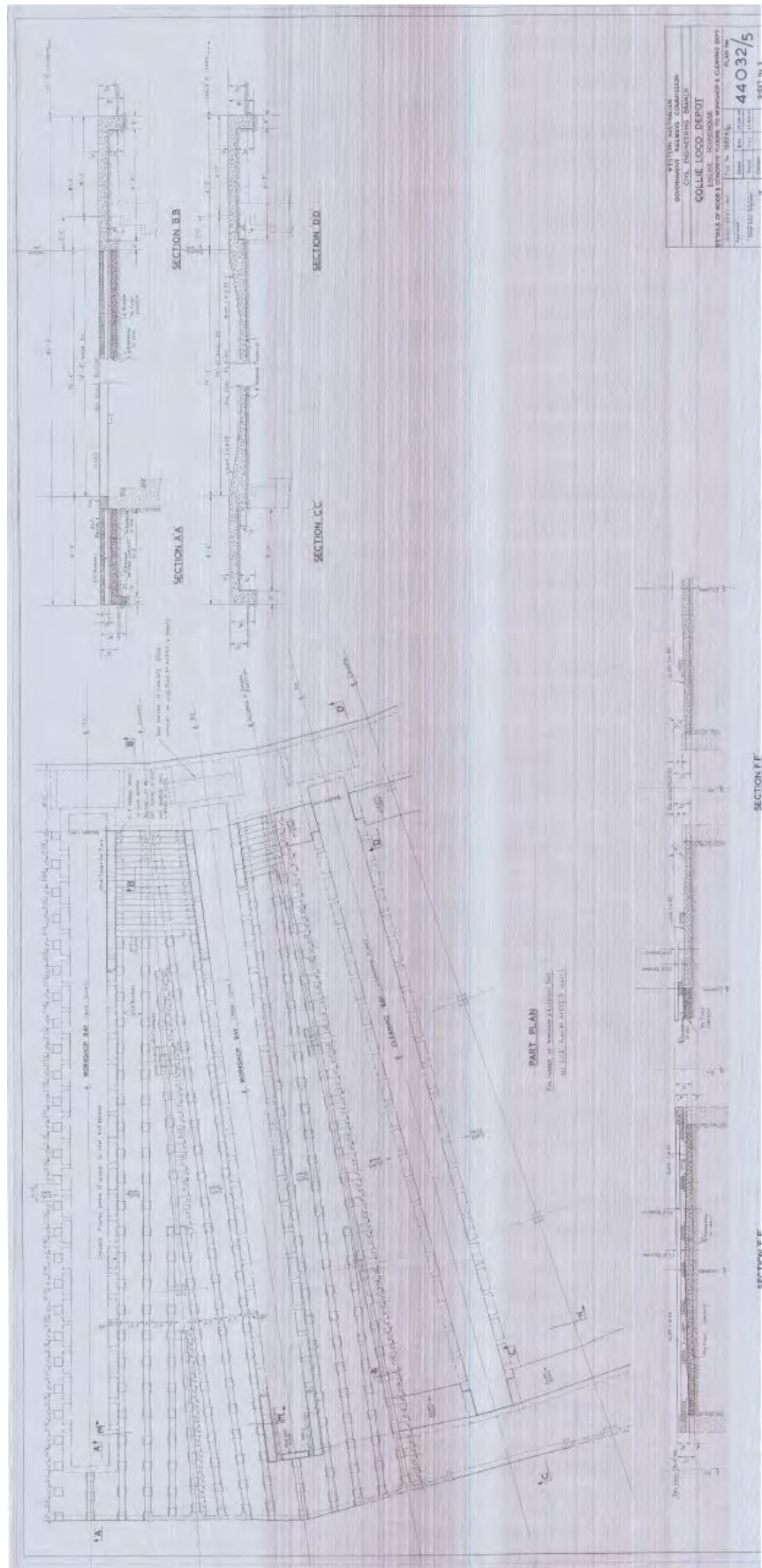
Archival image 3 43626/16 Sheet No 9, Collie Loco Depot Engine Roundhouse, Cross Beams at Permanent Side, Western Australian Government Railways Commission, Civil Engineering Branch, August 1954



Archival image 4 43626/16 Sheet No 9, Collie Loco Depot Engine Roundhouse, Layout of Drainage, Western Australian Government Railways Commission, Civil Engineering Branch, January 1955

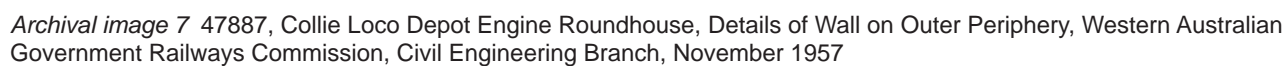


Archival image 5 44032/5 Sheet 3, Collie Loco Depot Engine Roundhouse, Details of Engine Pits, Western Australian Government Railways Commission, Civil Engineering Branch, June 1955

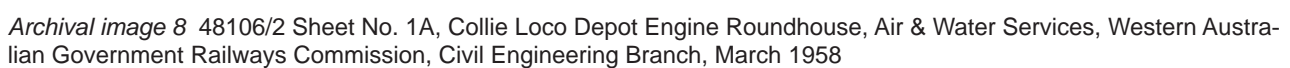


Archival image 6 44032/5 Sheet No. 1, Collie Loco Depot Engine Roundhouse, Details of Wood & Concrete Floors to Workshop & Cleaning Bays, Western Australian Government Railways Commission, Civil Engineering Branch, 27 January 1956

Documentary Evidence

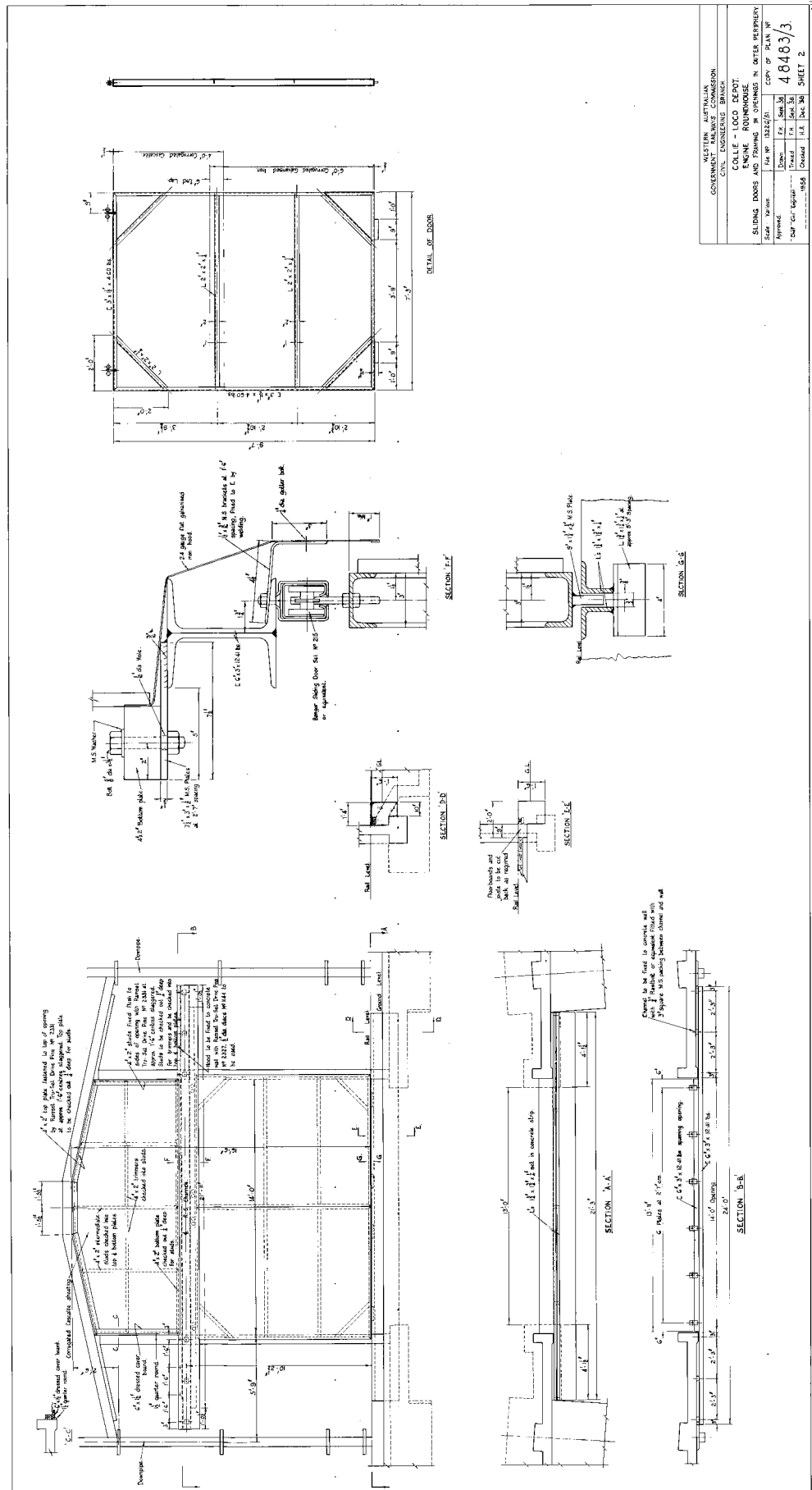


Documentary Evidence

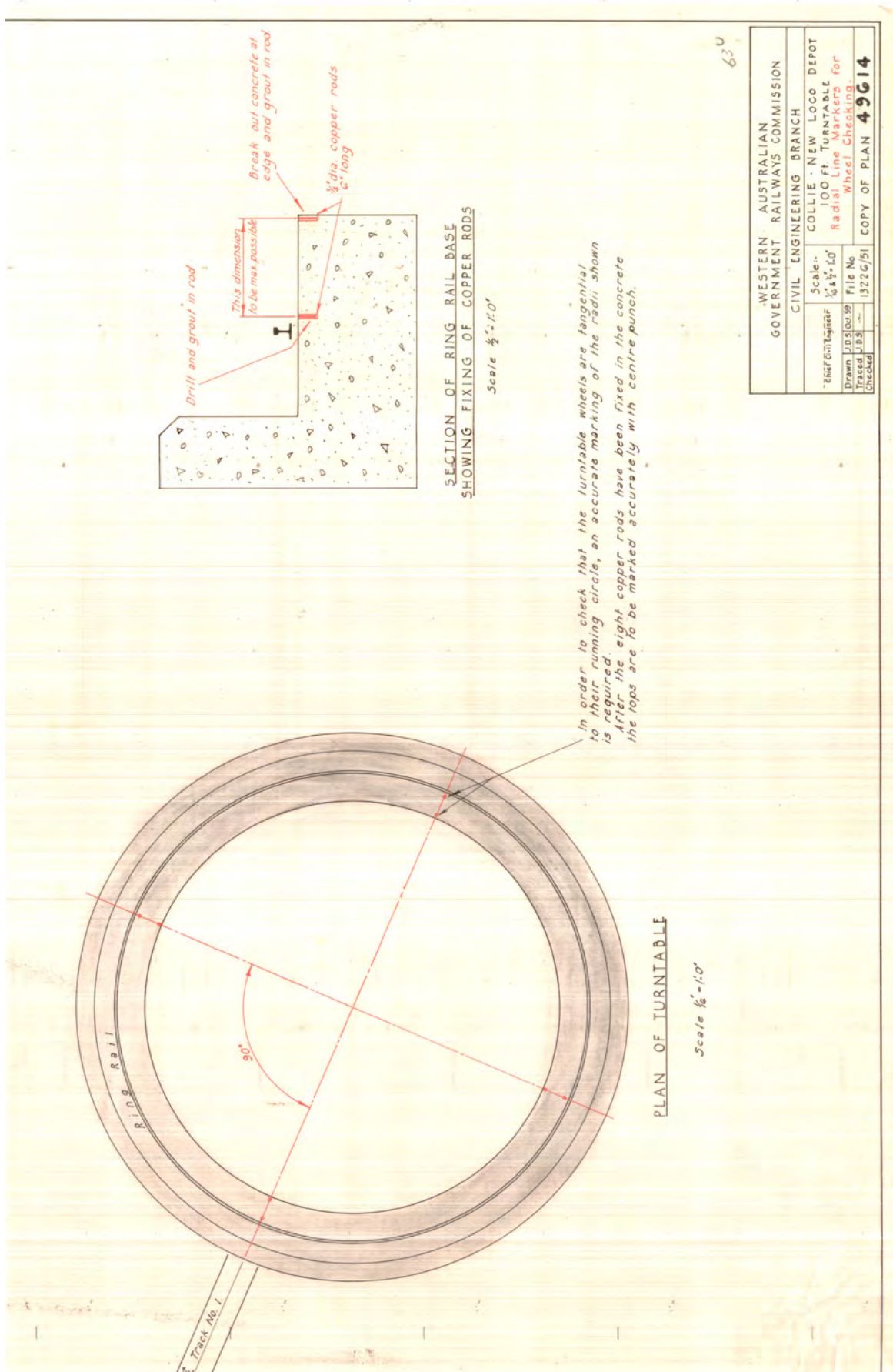


Round House with Turntable, Collie Conservation Management Plan

Documentary Evidence



Archival image 9 48433/3 Sheet 2, Collie Loco Depot Engine Roundhouse, Sliding Doors and Framing in Opening of Outer Periphery, Western Australian Government Railways Commission, Civil Engineering Branch, September 1958



Archival image 10 49614 Sheet No. 1A, Collie - New Loco Depot 100ft Turntable, Radial Line Markers for Wheel Checking, Western Australian Government Railways Commission, Civil Engineering Branch, October 1959

Physical Evidence



3.0 PHYSICAL EVIDENCE

3.1 SITE, SETTING AND LANDSCAPE

Round House with Turntable, comprising a single storey quarter-circle concrete locomotive workshop and separate locomotive turntable is located on the northern side of the Coalfields Highway at the entry to the town of Collie.

The landscape is largely flat and cleared in the vicinity of the Round House and railway, with bush to the north. On the south side of the highway there is bushland, with the township of Collie beginning at this point.

The building presents concrete walls to the street, but is open internally to allow the ingress and egress of locomotives and carriages, with the turntable located in the centre of the circle implied by the floor plan.

There are some remnant outbuildings, including a former toilet block and sheds, however these are not located within the curtilage and are not the subject of this study.

3.2 DESCRIPTION OF FABRIC

3.2.1 Round House

The Round House is quarter-circular in plan, with the turntable in the implied centre. The building is constructed of concrete, with a precast roof, and off-form walls.

The building is divided into 14 bays, each originally connected to the turntable by rail line, forming a symmetrical radial floor plan. The six northern bays were for repairs, and the remaining eight bays for cleaning and wash down of the locomotives and carriages. Bays 1 - 7 have numbers painted on the wall over the entry to the bay.

Each bay has a low pitched precast concrete roof, with downstand beams along the lower edges of each slope, each supported on three off-form concrete pillars. Each roof bay has a bank of skylights glazed with wired glass on either side (much of which is missing), at the lower edge of the slope and is divided into five bays by concrete beams.

There are covers over each ridge, comprising corrugated sheeting, curved over the ridgeline. The original material appears to be asbestos, some of which is loose on the roof, and replacement has been made to some bays and portions in a corrugated metal sheeting.

A box gutter, discharging to downpipes on the external wall extends along each valley. The easternmost slope of the roof is timber-framed, clad with a corrugated sheet, probably asbestos.

The building is enclosed on three sides, with the centre being open, with concrete columns delineating each bay. The rear wall is composed of off-form concrete, with fourteen straight sections suggesting a circle. The northern side wall is also constructed of off-form concrete whilst the eastern side wall is timber framed and clad with asbestos, most of which is broken. Drawings describe this as a temporary wall, suggesting that if the place was to be altered, it would be from this end.

There are four banks of multi-paned steel framed fixed windows in the northern end wall, with some remnant glazing. The eastern end wall also has steel framed windows, none of which has any glazing remaining.

Each bay's rear wall has an opening large enough to accommodate a locomotive. These are enclosed with a variety of means, including a metal roller door, cyclone mesh gates and pairs of timber framed gates and fixed panels with cladding, including corrugated metal and plastic sheeting. All are fixed shut. It is unclear from the available documentation whether these gates are original, but the physical evidence suggests that at least some (bays 1 and 2 for example), are later fabric.

The ceiling and interior walls of bays 1 - 6 are painted white, whilst the remaining ceilings and walls are bare concrete.

All bays originally had pits for working under the trains but the pits to bays 13 and 14 have been infilled, and there is a large concrete plinth towards the front of bay 13, the purpose of which is currently unknown. All bays, except 14, still have railway tracks, although bays 2 - 13 only exist from the pit to the edge of the concrete floor, the portion leading to the Turntable having been removed.

Bays 1 - 6 have timber flooring over the concrete floor, whilst the remaining bays have bare concrete floors.

Light fittings and services reticulated across the rear wall remain in-situ.

The place appears to be in reasonable condition, although it is quite dirty, and there is rubbish, including broken asbestos sheeting, glazing and spalled concrete, littered across the floor.

A timber railway carriage is currently parked in bay 1.

3.2.2 Turntable

The turntable is 30.48 metres in diameter (100 feet) and comprises a sunken circle approximately 1 metre deep with a concrete retaining wall, and a timber framed rail bridge across the centre. This bridge rotates to allow locomotives to be moved from the railway line into the bays of the Round House. There are metal hand-rails along both sides of the turntable.

A small metal framed and clad shed is located at one end of the turntable and moves with it.

3.3 CONDITION

The place appears to be structurally sound, with the following defects noted on visual inspection:

- Spalling of concrete ceiling, particularly bays 7 - 9
- Ceilings to bays 7 - 14 filthy, possibly both dirt and organic growth, or residue from cleaning
- Asbestos sheeting on roof, both fixed and loose
- Vegetation growing in valleys on roof
- Exhaust hoods to ceiling mounted cleaning equipment in poor condition
- Ceiling glazing missing and broken, particularly in bays 1 and 2
- All exposed steel corners to columns rusting
- Cover to some column corner reinforcing missing
- All glazing to walls missing or broken
- Asbestos end wall cladding broken and missing
- All doors in poor condition, except roller door.
- All steel elements in pits rusting
- Evidence of white ant damage to timber floor
- Portions of timber floor missing
- Litter in pits and across floor
- Broken asbestos spread across floor
- Pigeon guano
- Timber bridge to turntable in poor condition
- All metal elements of turntable rusting
- Metal shed on turntable in poor condition

3.4 COMPARATIVE ANALYSIS

The Round House with Turntable (1954-58) is one of two round houses constructed in Western Australia, and the only one still remaining as constructed on its original site. The turntable is also the only 100-foot turntable to be assembled in this state, the other three, all manufactured in Germany, were put into storage and eventually disposed of in the 1970s. The Round House with Turntable was decommissioned in December 1971 when the state railways fully converted to diesel locomotives.

Turntables of varying dimensions were a common and necessary feature of railways. Apart from turning locomotives around, the turntable was used to shunt locomotives into locomotive sheds constructed at railway depots for the purpose of their cleaning and maintenance.

From around the mid-19th century, round houses were constructed in many countries throughout the world, most being preserved as part of the country's railway heritage. In Australia there are around ten surviving round houses dating from 1918 to the 1950s.¹ Apart from the one in Collie, and Peterborough in South Australia (completed 1927), the rest are in New South Wales, including at Goulburn (1918), Valley Heights (1914), Broadmeadow, Newcastle, (1948) and Junee (1942). Others, dates unknown, are at Cowra, Werris Creek, Parkes, and Casino.

Only two round houses were constructed in Western Australia, one in Bunbury and one in Collie. 'Neither Midland Workshops or Midland Junction had a roundhouse. Most of the WA loco depots would not have had sufficient locomotives based there to warrant a roundhouse - unlike say NSW.'²

The Bunbury round house, the first of its kind in Western Australia, was completed in November 1928. 'This was part of the new locomotive depot built to replace the old depot, which was at the north end of Bunbury yard.'³ The round house 'had the capacity for 25 engines and had a diameter of 20 ft or 6.1 metres. The building was equipped with workshops, offices, and stores all of which provided accommodation for drivers, clerks and all stores.'⁴ According to the local press, 'The 70ft turntable is the most modern type manufactured by the W.A.G.R workshops.... Four feet six inches from the ground of the Roundhouse will be corrugated iron. The remainder, save for doors at set intervals, will be of plate glass.'⁵

The Bunbury round house was last used for the storage of steam locomotives on 30 November 1971, a month before the decommissioning of the Collie round house. The turntable at the front of the Bunbury round house was subsequently removed and scrapped and the pit filled in. The round house was heavily damaged when Cyclone Alby struck the south west in March 1978. It was dismantled during the re-development of Bunbury port, and in 1985 a section of four bays was reconstructed at Boyanup in its South-West Rail and Heritage Centre. The round house now contains the steam locomotive "Leschenault Lady" and the Boyanup Foundation's collection of vintage agricultural machinery.⁶

Round House with Turntable, Collie, is rare as a Round House, being the only extant example in Western Australia. Nationally, it appears to be unusual for its construction, most extant examples being light weight framed and metal clad structures more typically associated with railway workshops.

1 Wikipedia, Round Houses - research, https://en.wikipedia.org/wiki/List_of_railway_roundhouses. Accessed 12 January 2018.
2 Email from Philippa Rogers, member of the National Trust's Railway Heritage Committee, dated 22 January 2018.
3 Email from Jeff Austin, Rail Heritage WA, 23 January 2018.
4 Email and attachment from Jeff Austin, Rail Heritage WA, 23 January 2018.
5 *The Bunbury Herald and Blackwood Express*, 1 June 1928, p.4.
6 Email and attachment from Graham Watson, Archivist, Rail Heritage WA, dated 23 January 2018.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Comparative Image 1 Internal view of Bunbury Round House, date unknown. (Image: www.flickr.com, accessed 13 June 2018)



Comparative Image 2 Internal view of Peterborough Round House, South Australia, July 2010. (Image: www.wikimedia.org, accessed 13 June 2018)



Comparative Image 3 Aerial view of Toronto Round House Park, Toronto, which incorporates a park, brewery and museum. (Image: www.wikipedia.org, accessed 30 August 2018)

3.5 CURRENT IMAGES (Unless otherwise noted, all images by Department of Planning, Lands and Heritage, 2017 and 2018)



Photo 1 Looking east along Coalfields Highway, with the Roundhouse just visible behind trees.



Photo 2 Looking north-west along Coalfields Highway, with the Roundhouse just visible behind trees.



Photo 3 Looking west towards the Roundhouse, with the dilapidated eastern end in the foreground.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 4 Looking west along the inner facade of the Roundhouse.



Photo 5 Looking west towards bay 2 showing the wall and column structure. The number is painted over the bay, where the wall segments meet.



Photo 6 Looking east along the rear facade, bays 13 and 14 in the image.



Photo 7 Looking east towards the rear of bay 4.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 8 Looking east past the Roundhouse with cover of oil interceptor and settling tank in centre of image.



Photo 9 Looking west towards structures formerly associated with the Roundhouse.



Photo 10 Looking east along the interior of the Roundhouse.



Photo 11 Looking west along the interior of the Roundhouse.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 12 Looking north-west towards bay 1, showing train carriage. Note timber floor and painted concrete wall, columns and ceiling.



Photo 13 Looking north-west across bay 1 towards north end wall. Note off-form concrete wall, metal-framed glazing, skylights.

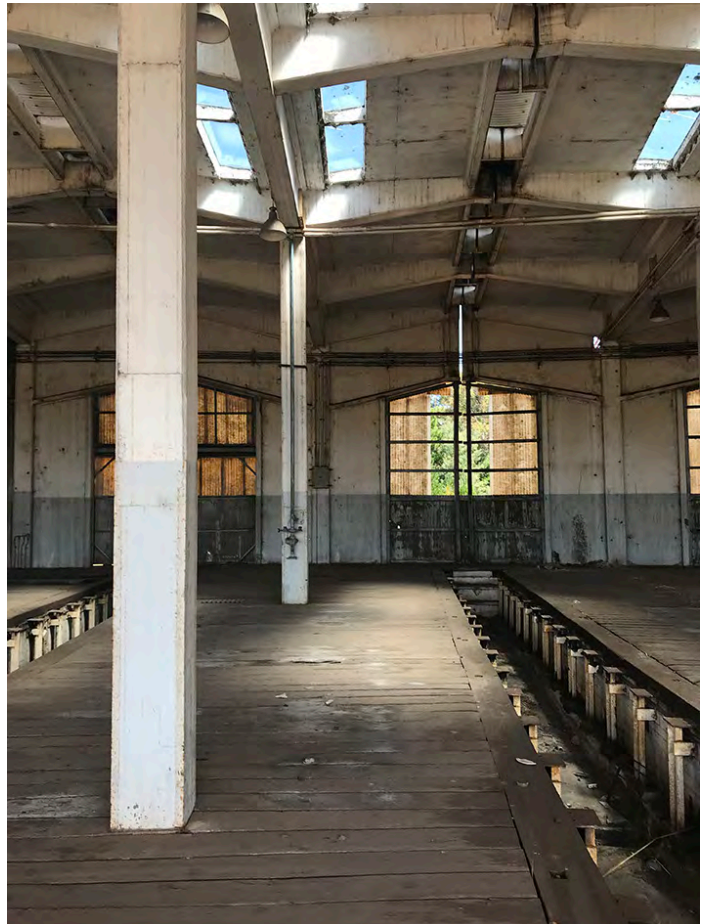


Photo 14 Looking west along bay 1.



Photo 15 Detail view of opening in bay 9, with corrugated metal and plastic clad metal-framed gate and fanlight.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 16 Detail view of opening in bay 3, with corrugated metal and plastic clad metal-framed gate.



Photo 17 Detail view of opening in bay 8, with corrugated metal clad metal-framed gate.



Photo 18 Looking south along bay 14 showing infill to pit.



Photo 19 Looking towards east end wall showing framing and dilapidated asbestos cladding.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 20 Detail view showing typical litter throughout Roundhouse.



Photo 21 Detail view of typical pit, bay 2.



Photo 22 Detail view of end of pit, at central end.



Photo 23 Detail view of fire damage to timber floor, bay 4.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 24 Detail view of broken asbestos and litter.



Photo 25 Detail view of missing cover to corner of column, showing typical damage to steel.



Photo 26 Detail view of typical painted ceiling with skylight.



Photo 27 Detail view of typical unpainted ceiling showing dirt.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 28 Detail view of typical exhaust hood.



Photo 29 Looking north-west towards shed on Turntable.



Photo 30 Looking east across Turntable.



Photo 31 Detail view of Turntable.

Round House with Turntable, Collie Conservation Management Plan

Physical Evidence



Photo 32 Detail view of Turntable.



Photo 33 Detail view of Turntable showing retaining wall.



Photo 34 Aerial image of Round House, October 2018. (Image courtesy of Planwest)



Photo 35 Detail view of roof showing asbestos sheeting, replacement metal sheeting and vegetation growing in valley, October 2018. (Image courtesy of Planwest)

Round House with Turntable, Collie Conservation Management Plan

Assessment of Significance

4.0 ASSESSMENT OF SIGNIFICANCE

The following assessment has been prepared by the Department of Planning, Lands and Heritage to progress the registration of the place from interim to permanent. It should be noted that this assessment may change when the registration process is finalised.

The degree of significance is discussed in terms of rarity and representativeness, conditions, integrity and authenticity and has been updated in the preparation of this conservation plan.

4.1 NATURE OF SIGNIFICANCE

4.1.1 Aesthetic Value

Round House with Turntable, Collie has aesthetic value for its innovative design, comprising a symmetrical quarter circle plan and off-form concrete construction, necessitated by the need to service steam locomotives being manoeuvred by a locomotive turntable. (Criterion 1.2)

Round House with Turntable, Collie has aesthetic value for being a dominant industrial building in a flat landscape, which is situated along a major route into Collie. (Criterion 1.3)

4.1.2 Historic Value

Round House with Turntable, Collie demonstrates the importance of Collie as the State's primary coal producing town, being one of few locations of its type and scale where steam locomotives were maintained along major rail transport routes. (Criterion 2.2)

Round House with Turntable, Collie demonstrates the adoption of innovative design and technology used to service steam locomotives when Collie's rapid development as the State's coal producing town increased the need to distribute larger quantities of coal. (Criterion 2.4)

4.1.3 Scientific Value

Round House with Turntable, Collie has the potential to contain in-tact archaeological deposits that may, through archaeological investigation, reveal information relating to railways in the State during the late nineteenth and early twentieth century. (Criterion 3.1)

Round House with Turntable, Collie is important in demonstrating the innovations of railway technology in the State, particularly relating to the servicing of steam locomotives throughout the twentieth century. (Criterion 3.3)

4.1.4 Social Value

Round House with Turntable, Collie is valued by the community for its importance in demonstrating the development of the railways and coal industry in the State. (Criterion 4.1)

4.2 DEGREE OF SIGNIFICANCE

4.2.1 Rarity

Round House with Turntable, Collie is rare for being the only extant example of a railway Round House, one of only two ever constructed, and for including the only extant Turntable of its type and size in the State. (Criterion 5.1)

4.2.2 Representativeness

Round House with Turntable is representative of a class of building constructed to service railway locomotives and carriages which enabled the locomotive to be turned mechanically to be returned to the railway line. (Criterion 6.1)

4.2.3 Condition

Round House with Turntable is generally in fair condition.

4.2.4 Integrity

Round House with Turntable, Collie has a moderate degree of integrity. The place retained its original function throughout its life, but is currently (July 2018) unused and is unlikely to function as a locomotive round house again.

4.2.4 Authenticity

Round House with Turntable, Collie has a high degree of authenticity as most original fabric remains in situ. Some ancillary outbuildings associated with the place have been demolished.

5.0 STATEMENT OF SIGNIFICANCE

The following statement is drawn from the State Heritage Office's register documentation.

The place has been assessed by the National Trust of Australia (WA) and has been entered in the Register held by that body as a classified building with the following statement of significance:

The off-form concrete walls, the concrete columns and precast concrete beams combine to produce a dramatic architectural character particularly when viewed from inside where light enters from the glazed roof areas and plays on the various angles of the concrete surfaces.

The method of housing the locomotives can easily be appreciated and is a demonstration of a past industrial usage.

The following statement has been prepared by the Department of Planning, Lands and Heritage to progress the registration of the place from interim to permanent. It should be noted that this assessment may change when the registration process is finalised.

Round House with Turntable, Collie comprising a single storey off-form concrete industrial locomotive Round House (1956) building with associated 100' Turntable (1957), has cultural heritage significance for the following reasons:

the place demonstrates the methods and evolution of maintaining steam locomotives in the State along a major rail transport route, through adopting innovations in technology and building;

the place demonstrates the development and importance of Collie as the State's only commercial coal producing town, which reflects the development of the State throughout the twentieth century and increased consumption of coal as a fuel source;

the place is rare for including the only extant railway round house, which may also be notable nationally for the use of concrete, and for including the only turntable of its size and type in the State; and,

the place has aesthetic value for its symmetry, innovative design, and architectural character through the use of off-form concrete, which makes it a dramatic and dominant structure located along a major route into Collie.

The buildings and structures adjacent to the place are not included in the curtilage and have not been considered as part of this assessment.

6.0 LEVELS OF SIGNIFICANCE

6.1 GENERALLY

An understanding of the levels of significance of the place and elements of the place complements the Statement of Significance, and can assist in managing conservation of the place. Generally, the higher the level of significance, the greater care that needs to be taken when making decisions about conservation and management.

The levels used in this conservation plan are taken from J.S Kerr's *The Conservation Plan – A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance* (6th edition, 2013), and are:

Exceptional significance

Items that would warrant inclusion on any register of heritage places when assessed at a national level. Conservation of items of exceptional significance is essential.

Considerable significance

Items that when assessed in a state context would warrant inclusion on any register of heritage places. Conservation of items of considerable significance is highly recommended.

Some significance

Items which are at the threshold for entry onto registers of significance, at a State or local level. Conservation of items of some significance is recommended.

Little significance

Items which neither contribute to nor detract from the cultural significance of the place, and are often later interventions. Items of little significance may be retained or removed as required.

Intrusive elements

Elements which intrude visually or negatively impact on the cultural significance of the place. Intrusive elements may be removed as the opportunity arises.

SIGNIFICANCE OF THE PLACE

Due to its nature and degree of significance, *Round House with Turntable* has considerable significance overall.

6.2 SIGNIFICANCE OF ELEMENTS OF THE PLACE

To aid in understanding the significance of the place, elements have been individually assessed, as summarised below.

6.2.1 Exceptional Significance

6.2.2 Considerable Significance

Form of Round House, including roof form

Layout of Round House, including maintenance pits and Turntable

Original fabric of Round House and Turntable

Shed on Turntable

6.2.3 Some Significance

Original pendant light fittings

Extent of former yard

Rail car in bay 1

6.2.4 Little Significance

6.2.5 Intrusive elements

Fencing

6.3 ARCHAEOLOGICAL SIGNIFICANCE

It is unknown whether any archaeological survey has been made of the place. However, given the development history and use of the place it is likely that there is the potential for archaeological discoveries to be made during ground breaking works, both under the floors and around the building.

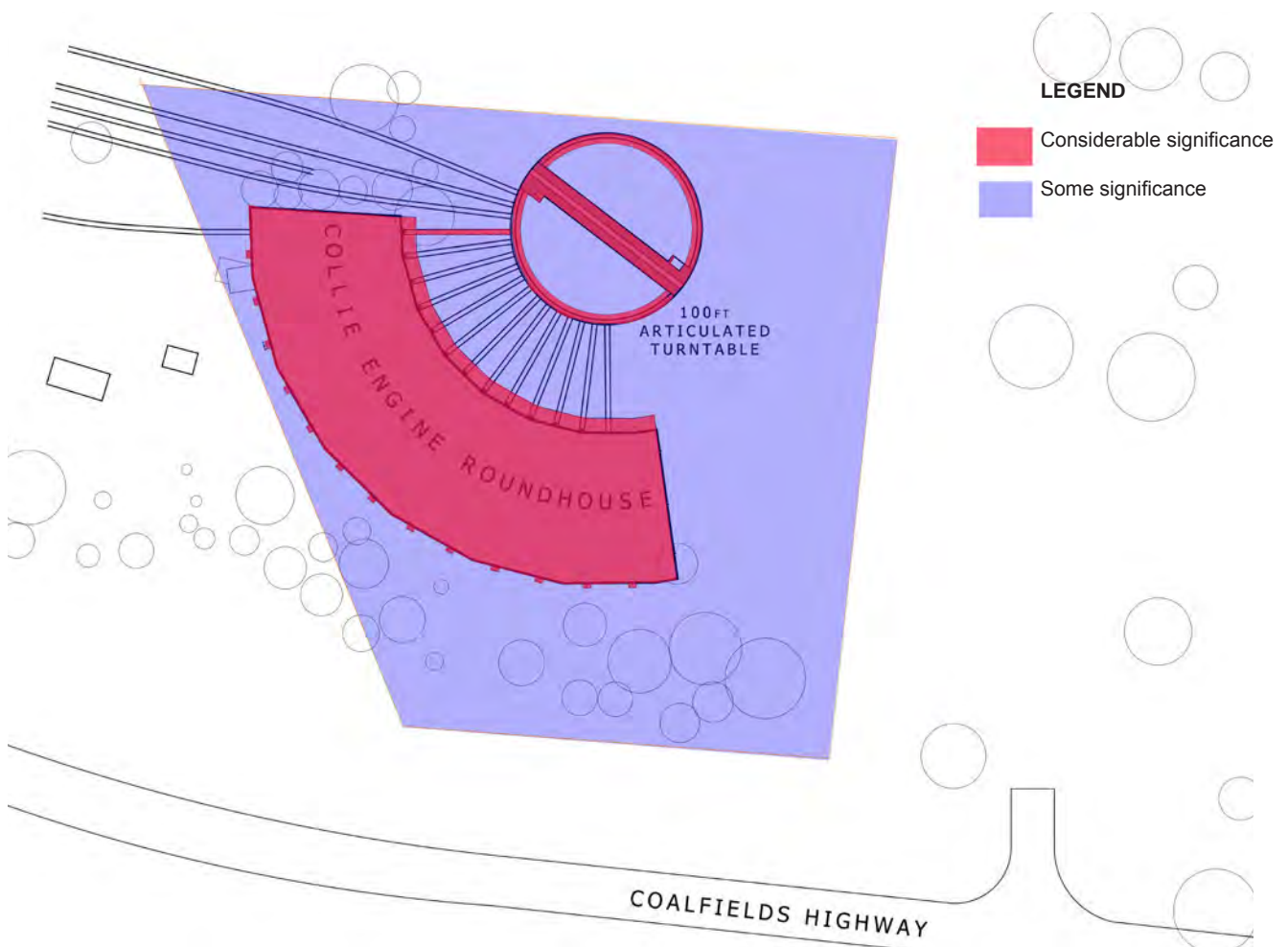


Fig. 6 Diagram showing levels of significance across site. (DPLH, July 2018)

Round House with Turntable, Collie Conservation Management Plan

Assessment of Significance

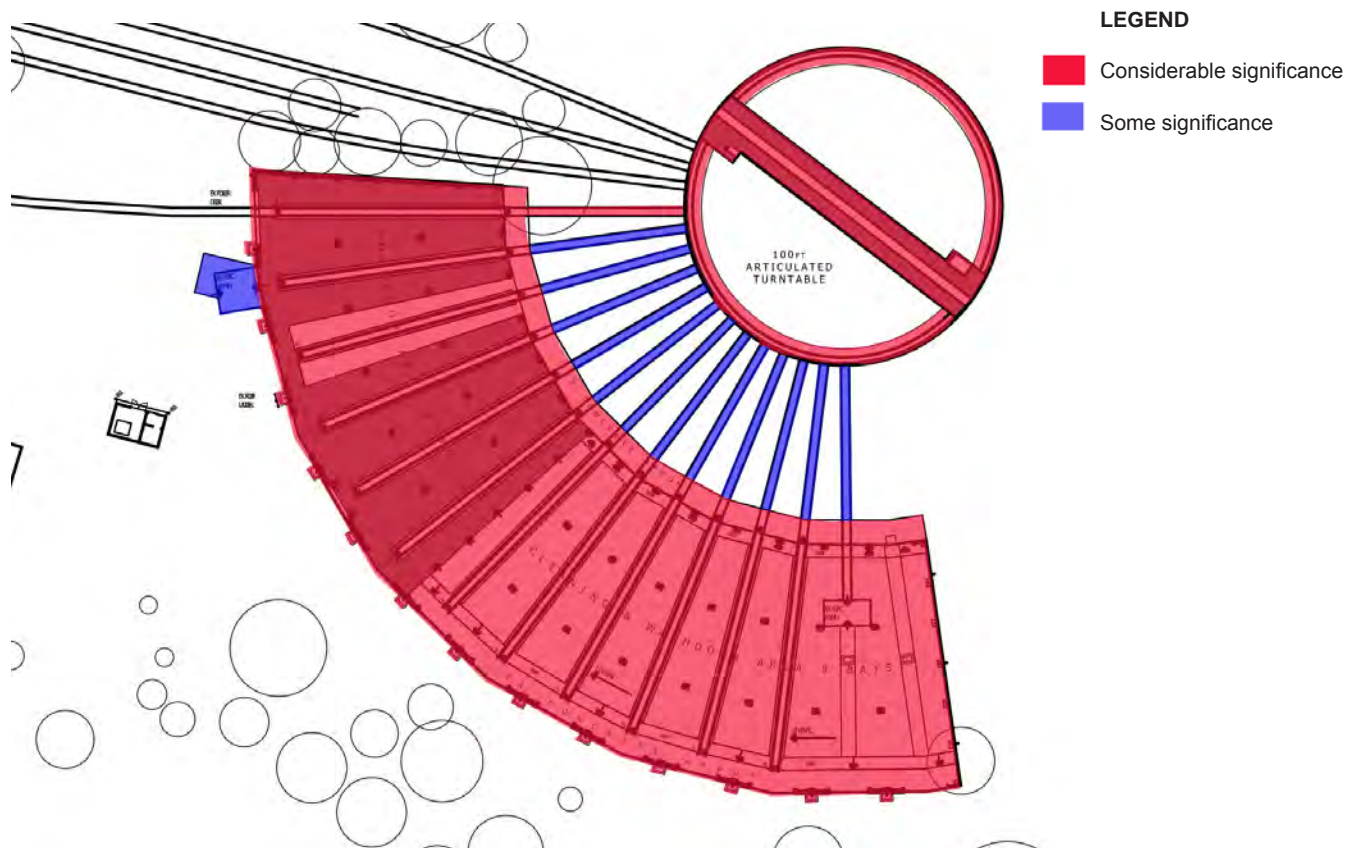


Fig. 7 Diagram showing levels of significance across floor plane. (DPLH, July 2018)

7.0 CONSERVATION POLICY

7.1 INTRODUCTION

The intentions of the conservation policy are:

- To retain and reveal significance,
- To identify feasible and compatible uses,
- To meet statutory requirements,
- To work within procurable resources, and,
- To anticipate threats and opportunities.

The significance of heritage places is particularly vulnerable to the following factors:

- Lack of ongoing maintenance resulting in damage to and deterioration of significant fabric, and,
- Uninformed and inappropriate repairs causing damage to the fabric.

Major Issues in the Policies

Conservation policy for *Round House with Turntable* has been developed from the assessed significance of the place and its physical condition at the time of writing. Policy has been developed to best address how to retain and reveal significance, to conserve and maintain significant fabric, and to identify future potential uses compatible with the significance of the place.

Major conservation issues include:

- Investigation into extent of, and potential solutions for, contamination of soil and fabric;
- Retention, conservation and interpretation of significant setting;
- Appropriate uses of the place, given its past use, physical condition, and significance, and management of change required for future uses.

Key Policy Statements

Round House with Turntable should be conserved with minimal change to the exterior and interior of the building. The place may be adapted, guided by the policy in the following sections, and with due regard to the assessed significance of the place.

The setting of the Round House should also be conserved in a way that retains and reveals the significance of the place, and respects its landmark qualities.

Determining an appropriate use for the place, and managing the changes required to implement such use, is a good way to ensure the ongoing conservation of the place and its heritage values.

Acceptance of Approach

Conservation policy has been developed based on an understanding of the significance of the place and its physical condition.

Policy 1

The assessment of cultural significance for Round House with Turntable as described in this conservation plan should be accepted as the basis for decision making about the conservation and future development of the place.

Policy 2

The conservation policy described in this document should be accepted as a guide to the future conservation and development of the place by owners and relevant authorities.

Burra Charter

The *Australia ICOMOS Charter for Places of Cultural Significance, The Burra Charter, 2013* (Burra Charter) is the accepted key guiding document in Australian heritage practice for providing best practice standards for the management of places of cultural heritage significance. The conservation policy in this document is guided by the philosophy of the Burra Charter, which may also be a useful guide to resolving any conservation issues that are not specifically addressed in this document.

The Burra Charter adopts a cautious approach to conservation, advocating to “do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.”

Policy 3

The policies, principles and processes of the Burra Charter should be used to guide conservation of the place, in addition to the policy outlined in this document.

Policies that are of particular relevance to development at the Round House include:

Article 2: Conservation and management

- 2.1 Places of cultural significance should be conserved.
- 2.2 The aim of conservation is to retain the cultural significance of a place.
- 2.3 Conservation is an integral part of good management of places of cultural significance.
- 2.4 Places of cultural significance should be safeguarded and not put at risk or left in a vulnerable state.

Article 3: Cautious approach

- 3.1 Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible.
- 3.2 Changes to a place should not distort the physical or other evidence it provides, nor be based on conjecture.

Article 5: Values

- 5.1 Conservation of a place should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others.

Article 7: Use

- 7.2 A place should have a compatible use.

Article 8: Setting

Conservation requires the retention of an appropriate setting. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the cultural significance of the place.

New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

Article 15: Change

15.1 Change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The amount of change to a place and its use should be guided by the cultural significance of the place and its appropriate interpretation.

15.2 Changes which reduce cultural significance should be reversible, and be reversed when circumstances permit.

15.3 Demolition of significant fabric of a place is generally not acceptable. However, in some cases minor demolition may be appropriate as part of conservation. Removed significant fabric should be reinstated when circumstances permit.

Article 16: Maintenance

Maintenance is fundamental to conservation. Maintenance should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.

Article 18: Restoration and reconstruction

Restoration and reconstruction should reveal culturally significant aspects of the place.

Article 19: Restoration

Restoration is appropriate only if there is sufficient evidence of an earlier state of the fabric.

Article 21: Adaptation

21.1 Adaptation is acceptable only where the adaptation has minimal impact on the cultural significance of the place.

21.2 Adaptation should involve minimal change to significant fabric, achieved only after considering alternatives.

Article 22

22.1 New work such as additions or other changes to the place may be acceptable where it respects and does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.

22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place.

Expert Advice

A key policy of the Burra Charter is recognition that the conservation and management of culturally significant places requires specific expert skills.

Policy 4

Conservation of heritage places requires high levels of expertise and professionalism. All proposed works to the place should be considered with the input of appropriately skilled and experienced conservation professionals.

Review of the Conservation Management Plan

Periodic updating of conservation management plans is required as new information may turn up over time, resulting in the need to reassess previous interpretations of the place; and as the circumstances of ownership, context and conservation are likely to change over time.

Policy 5

Any new information that is discovered should be maintained by the managers of the place, and made available to owners/consultants engaged in the management of the place.

Policy 6

The conservation management plan should be reviewed every ten years, or when major developments have occurred. This will ensure that the context and conservation policy are updated and appropriate.

Further Research

Further research into the place has the potential to benefit conservation of the place by bringing to light evidence which increases the understanding of the place.

Policy 7

Research into the place should continue, and any new information be made available to the managers/owners for incorporating into updated conservation management plans.

7.2 POLICIES ARISING FROM THE GRADED ZONES OF SIGNIFICANCE

Conservation is based on a respect for the existing fabric, use, associations and meanings of a place, and requires a cautious approach of changing as much as is necessary but as little as possible.¹

General approaches to Levels of Significance

It is accepted that assessed levels of significance provide a guide to conservation management and actions, with greater care being taken for fabric and elements of higher significance. Adaptation, and in some cases, removal of fabric is possible for elements of lesser significance. Intrusive elements should be removed when no longer in use.

Policy 8

The greater the significance of a fabric or a feature of a place, the more care should be taken in actions which may affect it.

Policy 9

Fabric and elements identified as having exceptional significance must be retained and conserved.

Policy 10

Fabric and elements identified as having considerable significance should be retained and conserved. They may be modified in keeping with the overall aims of the conservation policy.

Policy 11

Fabric and elements identified as having some significance should be retained and conserved, where possible. If modified this should be done in keeping with the overall aims of the conservation policy. If removed, their significance should be recognised and recorded through an archival record.

¹ Paraphrasing of Article 3, Burra Charter.

Policy 12

Fabric and elements identified as having little significance may be retained, removed or modified. If modified this should be done in keeping with the overall aims of the conservation policy

Policy 13

Fabric and elements identified as intrusive should be removed when no longer in use.

7.3 POLICIES RELATING TO THE PHYSICAL SETTING

Setting, landscaping and views

Round House with Turntable is located on the northern side of the Coalfields Highway, just before the western entry to the town of Collie. The railway line is just to the north of the Round House.

The setting is semi-rural, with native forest located to the north of the railway line and to the south of the Coalfields Highway, and the town of Collie beginning just to the east of the Round House. Land has been cleared along the railway line and road reserve.

The building is quite substantial, and located close to the road, but views from the road are obscured by trees. Open views of the Round House are available from the rail line.

There are remnant railway tracks from bay 1 to the Turntable, and from the Turntable to the railway line, although these have been severed by a road which runs just to the north of the Roundhouse.

A steel framed chain link fence has been erected around the Round House to secure it. The fence is not original and is intrusive.

There are a number of structures in the vicinity which are historically related to the Round House, but are outside the curtilage and are not a part of this study.

Policy 14

Views of the Round House with Turntable should be retained, and not obstructed by future development or landscaping. Principal views are of the front of the building, from the railway side.

Policy 15

The extent of the original grounds is unclear from the current configuration, and consideration should be given to investigating and interpreting the former workshops yard in future developments.

Policy 16

*There is a likelihood of archaeological artefacts being found under and in the area around the building. Refer to **7.5 Policies arising from archaeological significance** for further guidance.*

Policy 17

Trees should not be allowed to grow close to walls, and branches should be pruned back where they overhang the building.

Policy 18

Railway lines, where extant, should be retained and conserved. Missing rail lines may be reinstated or interpreted to assist in telling the story of the place.

Policy 19

Any new landscaping schemes should complement the significance of the place.

Parking

There is currently no formal parking for the place.

Policy 20

Any future car parking should be located to the east of the Turntable, located so as not to impinge on views of the Round House.

7.4 POLICIES ARISING FROM THE PHYSICAL CONDITION OF THE PLACE

ROUNDHOUSE

Form

The original form of the Round House is intact, and is of considerable significance

Policy 21

The original form of the Round House must be retained and conserved.

Fabric

Roof

The Round House has a pre-cast concrete roof, comprising a series of low pitched roofs over each bay, with a skylight along each ridge, glazed with wired safety glass. The roof is supported by the walls, and square concrete columns.

The roof form is of significance.

Policy 22

The roof form, including the skylights, is of significance and must be retained and conserved. Repair or replacement to the roof should match the existing form, materials and profile (with the exception of asbestos, if used, which should be replaced with a corrugated metal or compressed fibre sheet as appropriate).

Policy 23

No items may be attached to the street facing roof elevation e.g. air conditioning units, antennae dishes, solar panels.

Policy 24

Damage to columns to be made good to match existing. Steel corner angles are rusted and should be repaired/replaced and treated to inhibit rust.

Ceiling

The ceiling of the Round House is the unlined underside of the concrete roof. The ceiling is of considerable significance. Ceilings are very dirty, particularly in the former washing bays. There are framed extractor hoods on the ceilings in the former washing bays.

Policy 25

The ceiling form, including the skylights, is of significance and must be retained and conserved. Repair or replacement to the ceiling should match the existing form, materials and profile (with the exception of asbestos, if used, which should be replaced with a compressed fibre sheet).

Policy 26

Ceilings should be cleaned carefully, using non-abrasive, non-caustic methods and products. Residue should be tested prior to cleaning for contaminants, and any required precautions taken.

Policy 27

Extractor hoods should be retained and repaired/replaced to match existing.

Rainwater Goods

Water is drained from valley box gutters, and discharged through large rainheads along the side and rear walls into rectangular downpipes, which are connected to a subterranean drainage system.

Policy 28

Where required rainwater goods should be repaired/replaced to match existing materials, profiles and finishes.

Walls

The north, west and south external walls of the Round House are off-form concrete and are of considerable significance. The east wall is framed, and was glazed and clad with asbestos. The form of the wall is of considerable significance. The glazing has been broken, and most asbestos sheeting has been broken and/or removed. Internally, walls are not lined. There is evidence of cracking to the external walls, particularly above the entry bays.

Policy 29

The walls of the Round House are of considerable significance and must be retained and conserved. No new openings should be made in the walls unless they are essential to the ongoing use of the place.

Policy 30

Any damage should be repaired to match original, except in the case of asbestos, which should be replaced with a compressed fibre cement sheet. Repairs should match original materials, and finishes, except as noted.

Policy 31

No paint, render or other sealant should be applied to bare concrete, unless as an appropriate anti-graffiti treatment. Painted surfaces may be repainted to match existing.

Openings

Openings to the Round House comprise train entry bays to the front, windows on the side walls, and a large opening to the rear of each bay. Openings are original, and of considerable significance. It is unclear if the gates and doors to the rear openings are original.

Windows have steel framing, but all glazing has been broken.

Rear doors are enclosed variously with:

- Pair of chain mesh gates

- Roller door
- Framed, corrugated metal clad doors and partitions, all fixed.

Policy 32

Existing openings must be retained and conserved. Modifications, including enclosing existing openings should only be made where they are critical to the ongoing use of the place. Where openings are enclosed, the original opening should be interpreted in the treatment and detailing of the enclosure.

Policy 33

Existing doors/gates should be retained and conserved unless the ongoing use of the place requires their replacement. If they are replaced, the new items should complement the existing industrial aesthetic. Any removed elements should be recorded in an archival record before they are removed.

Policy 34

Existing window frames should be retained conserved and reglazed with clear glass, or carefully cleared of remnant glazing and made safe.

Floors

Floors are concrete and are of significance. Bays 1 - 6 have a timber board covering to the underlying concrete floor. The timber flooring is of significance.

Concrete is in reasonable condition, timber is in poor-fair condition, with some areas of termite damage and fire damage.

Bays 1 - 12 have a central pit with train rails. The pits to bays 13 and 14 have been infilled. The rails and supporting structure are in fair to poor condition.

There is substantial bird guano throughout the place.

Policy 35

Existing floors should be retained and conserved. Damage to floors should be repaired to match existing material, profile and finish.

Policy 36

Floors should be cleaned carefully, using non-abrasive, non-caustic methods and products, and noting that there may be contaminants present.

Policy 37

Timber floors are in poor condition. Timber should be repaired/replaced to match existing, and timber treated with a breathable timber finish suitable to external conditions.

Policy 38

If pits are required to be infilled to facilitate use they should be interpreted in the new floor. At least one pit should be retained and covered with Perspex, or similar, for interpretation.

Paint

If painting is required, the colour scheme should be based on paint scrapes and/or documentary evidence.

Policy 39

The existing paint scheme should be retained, unless further documentary evidence can support an alternative scheme. A regular painting regime should be implemented. Paint should not be applied to previously unpainted surfaces.

Planning

The original floor plan is extant and is of considerable significance.

Policy 40

No modifications, except those required to facilitate future use, should be made to the planning.

Lighting

There are metal pendant lights in each bay, and large metal wall mounted lights on the fascia over the bay entries. Lights are probably original, and are significant.

Policy 41

Existing lighting should be retained and made operable if possible.

Policy 42

Where new lighting is required, a lighting strategy should be prepared that incorporates the need for specific lighting whilst respecting and protecting original, significant fabric. A comprehensive suite of lighting should be professionally designed and should be of a simple modern industrial design. Lighting and other services should be located and fixed so as to minimise damage to the fabric.

TURNTABLE

The Turntable comprises a circular pit with concrete retaining wall, and a central metal framed rail bridge with timber deck which turns around the circle. There is a metal-framed and clad shed at one end of the bridge. The Turntable is in poor to fair condition. Internal inspection of the shed was not available.

Form

The original form of the Turntable is intact, and is of considerable significance.

Policy 43

The original form of the Turntable should be retained and conserved.

Policy 44

The original form of the Turntable should be retained and conserved.

Consideration should be given to interpreting the location of rail tracks no longer extant, either in floor treatments or landscape plans.

Fabric

Turning pit

The turning pit is original and is of considerable significance. It comprises a concrete retaining wall with train rails around the rim. The structure is in poor-fair condition, with all metal elements rusted.

Policy 45

The turning pit should be repaired/replaced to match original fabric. If the pit is required to be infilled then it should be interpreted in the ground plane. If possible, a portion should be able to be viewed.

Rail Bridge

The rail bridge comprises a metal framed bridge with timber decking and metal handrails and is of considerable significance. The structure is in poor to fair condition.

Policy 46

The rail bridge should be repaired/replaced to match original fabric.

Policy 47

If works are required to make the bridge comply with current regulatory requirements this should be done with regard to the industrial aesthetic of the structure.

Shed

The shed is a small metal-framed and clad structure at one end of the rail bridge, and is of considerable significance. It is in poor condition. Internal inspection was not available during the preparation of this report.

Policy 48

If the shed is retained, it should be repaired/replaced to match existing.

Policy 49

If required, the shed may be removed. If it is removed, it should be recorded in an archival record before its removal, and its location interpreted.

GENERAL

Signage

There is currently limited signage at *Round House with Turntable*, being only the numbers painted over bays 1 – 7, but this may change when the place is developed.

Policy 50

Existing signs over bays 1 – 7 should be retained and conserved.

Policy 51

If signage is required it should be of a simple modern design which does not adversely impact on the significance of the place. A comprehensive signage suite, designed by an appropriate professional, should be designed for the place.

Policy 52

Where possible signage should be freestanding. Any signage required to be fixed to the heritage buildings should be fixed so as to cause minimal damage to the significant fabric, and be easily removed. Professional advice should be sought as to how to achieve this.

Security

Security is important, for the buildings and visitors. Security features are important for protecting fabric, but intrusive elements such as grilles and some security fencing should be avoided as they can be intrusive.

Policy 53

When considering security measures, the type and location of devices should be considered to minimise the impact on the aesthetic values of the place.

Policy 54

Security measures such as cameras and alarms should be located discreetly, to minimise their impact on the aesthetic values of the places and fabric.

Policy 55

All security measures that are required to be fixed to significant fabric should be fixed to minimise the damage to fabric. Stainless steel fixings must be used.

Storm Water and Pest Control

In addition to maintenance and conservation, it is important to protect buildings against damage from storm water and pests.

Policy 56

All stormwater should be directed away from buildings, to soak wells or sewers. Drainage should be monitored and faults remedied immediately to prevent damage to fabric.

Policy 57

Where there has been damage to fabric from stormwater, the causes should be investigated and remedied as a matter of importance. Damage to fabric should be made good to match existing.

Policy 58

If there is evidence of termite or vermin activity it should be remedied, and ongoing monitoring put in place to prevent damage to the fabric. Damage to fabric should be made good to match existing.

Contamination

There are known contaminants, including asbestos, hydrocarbons, and acids, from the building's structure and its use as an industrial site. A map showing areas of potential contaminants is at **Appendix B**.

Policy 59

Before works occur testing for contamination should be undertaken, and recommendations followed. As this may have the potential to impact on significant fabric and potential archaeology, appropriate heritage and archaeological consultants should be engaged to minimise the impact of contamination remediation.

7.5 POLICIES RELATING TO ARCHAEOLOGICAL SIGNIFICANCE AND POTENTIAL

It is unknown whether any archaeological studies of the place have been undertaken, but it is likely that there is the potential for archaeological artefacts to be discovered both under the ground around the buildings, and under the floors.

Policy 60

Where ground breaking development is proposed a suitably qualified archaeologist should be involved in consultation with developers and contractors to determine an appropriate method and program for the work being proposed. An archaeological management strategy must be prepared, to the satisfaction of the Assistant Director General, Heritage Services, DPLH, prior to works commencing.

See also Policy 59 – contamination.

7.6 POLICIES ARISING FROM EXTERNAL REQUIREMENTS

Current Heritage Listings

Registration on a heritage list is recognition of the cultural significance of the place to the community. Heritage lists exist at international, national, state and local levels, although not all lists have statutory implications for listed places.

Shire of Collie Municipal Inventory

A Municipal Inventory is a record of places within the local government area that have been assessed as being of cultural heritage significance to the local district. Municipal Inventories may be used to inform local planning, but have no statutory implications unless they are linked to the authority's Town Planning Scheme. Places are generally assigned a management category, which reflects their relative level of significance in a local context, and may assist owners and relevant authorities in managing their future development.

Round House with Turntable is included in the Shire of Collie's Municipal Inventory.

Shire of Collie Heritage List

The Shire of Collie's Heritage List is a survey of those heritage places that it believes warrant protection through certain provisions of the Shire's town planning scheme (TPS 5). *Round House with Turntable* is included on the list as a place of exceptional significance. Inclusion of a place on the heritage list does not prohibit development of the place, but may have implications for future development of the place.

Policy 61

As the Round House with Turntable is included on the Shire's Heritage List, it is recommended that owners/ developers intending to develop the place liaise with planning officers of the Shire at the earliest opportunity to ensure that all planning requirements, including heritage requirements, are met.

National Trust of Western Australia

Round House with Turntable is classified by the National Trust of Western Australia. Classification is the National Trust's methodology of recognising that the place is of value to the community, but has no statutory implications.

Aboriginal Register of Places and Objects

The Register of Places and Objects, prepared and maintained by the Department of Planning, Lands and Heritage, records places and objects that are of significance to Aboriginal people. There are currently no known sites or places within the registered curtilage of *Round House with Turntable, Collie*.

South West Settlement

On 8 June 2015, six identical Indigenous Land Use Agreements (ILUAs) were executed across the South West by the Western Australian Government and, respectively, the Yued, Whadjuk People, Gnaala Karla Booja, Ballardong People, South West Boorajarrah #2 and Wagyl Kaip & Southern Noongar groups, and the South West Aboriginal Land and Sea Council (SWALSC).

The ILUAs bind the parties (including 'the State', which encompasses all State Government Departments and certain State Government agencies) to enter into a Noongar Standard Heritage Agreement (NSHA) when conducting Aboriginal Heritage Surveys in the ILUA areas, unless they have an existing heritage agreement. It is also intended that other State agencies and instrumentalities enter into the NSHA when conducting Aboriginal Heritage Surveys in the ILUA areas. It is recommended, subject to internal Department or Agency legal advice, that your Department or Agency enter into a NSHA, and an 'Activity Notice' issued under the NSHA, if there is a risk that an activity will 'impact' (i.e. by excavating, damaging, destroying or altering in any way) an Aboriginal heritage site. The Aboriginal Heritage Due Diligence Guidelines, which are referenced by the NSHA, provide guidance on how to assess the potential risk to Aboriginal heritage and can be found at <https://www.daa.wa.gov.au/heritage/land-use/>.

The requirements of the ILUAs apply to State Government departments, agencies and instrumentalities.

Policy 62

As the Round House with Turntable is located within an ILUA, further advice should be sought from the Department of Planning, Lands and Heritage.

State Register of Heritage Places

Round House with Turntable is permanently included on the State Register of Heritage Places. The listing encumbers that portion of Lot 561 of Plan 68077, Volume LR159, Folio 771, Reserve 47127, as illustrated in Curtilage Map P541 diagram, shown in **Fig. 3**.

The provisions of the *Heritage of Western Australia Act, 1990*, require all proposed developments that may affect the cultural significance of the place to be referred to the Heritage Council for advice. Approving authorities (e.g. local government, Western Australian Planning Commission) are required to ensure that any approvals are consistent with the advice provided by the Heritage Council.

Works which must be referred to the Heritage Council include alterations and extensions; new buildings; conservation works; demolition and excavation; relocation; re-roofing; changes to exterior colour schemes; signage; interior works; subdivision and amalgamation of lots; and changes of use.

Maintenance works, which are defined in the *Heritage of Western Australia Amendments Regulations, 2012*, outline which works do not need to be referred to the Heritage Council.

These are defined as:

- (a) building maintenance that does not involve the removal of, or damage to, the existing fabric of the building or the use of new materials;
- (b) cleaning that is low pressure, non-abrasive and non-chemical;
- (c) gardening or landscape maintenance that does not involve a major alteration of the layout, contours, structures, significant plant species or other significant features on the land;
- (d) repairs, including replacing missing or deteriorated fabric with like for like fabric, that does not involve the removal of, or damage to, the significant fabric of the building;
- (e) replacement of utility services using existing routes or voids that does not involve the removal of, or damage to, the fabric of the building;
- (f) repainting of the surface of a building —

- (i) in the same colour scheme and paint type if they are appropriate to the substrate and do not endanger the survival of earlier paint layers; and
- (ii) without disturbing or removing an earlier paint layer unless it is chalking, flaking or peeling;
- (g) an excavation, that does not affect archaeological remains, for the purpose of exposing, inspecting, maintaining or replacing utility services;
- (h) the erection or installation of a temporary security fence, scaffold, hoarding or surveillance system that does not affect the fabric of a building, the landscape or archaeological features of the land;
- (i) signage that —
 - (i) does not obscure signage that has an integral relationship to the land; or
 - (ii) is temporary and does not have a deleterious effect on the fabric of a building; or
 - (iii) is temporarily located behind a shop window but is not internally illuminated or flashing; or
 - (iv) advertises that a place is for sale or lease but does not remain on the place for more than 10 days after the place is sold or leased;
- (j) digging a new grave or the erection of a monument or grave marker of materials, size and form that are consistent with the character of the place.

Policy 63

As Round House with Turntable is included on the State Register of Heritage Places, all proposals will be referred to the Heritage Council for advice.

Policy 64

If major developments are being considered, it would be prudent to consult with the Heritage Council at the earliest opportunity in order to ensure the best heritage outcome for the place.

Policy 65

New owners may be required to enter into a Heritage Agreement with the Heritage Council. The Agreement is a legally binding document, into perpetuity, which sets out the required conservation and maintenance requirements for the place.

Policy 66

If the place is disposed of, new owners should investigate the range of heritage incentives, including the annual Heritage Council Heritage Grants Program, to assist with managing the place.

National/Commonwealth heritage lists

Round House with Turntable was listed on the Register of the National Estate. The Register was closed in 2007 and is now an archive of information with no statutory implications.

State Government Policy

The State Government's Government Heritage Property Disposal Process (GHPDP) is designed to ensure that places of cultural significance have appropriate heritage protections in place if they are disposed of to the private sector. Disposal includes sale, demolition, long term lease and sub-division.

As *Round House with Turntable* is owned by the State Government the provisions of the Policy apply. This conservation management plan will assist the Heritage Council to determine what further action may be necessary, including the requirement for new owners to enter into a Heritage Agreement with the Heritage Coun-

cil. A Heritage Agreement is a legally binding contract that binds the owner in perpetuity to the conservation and maintenance outcomes detailed in the agreement.

The recommended conservation and works schedules in **Section 8.0 – Policy Implementation** will form the basis for any conservation and maintenance requirements in a Heritage Agreement.

Other Statutory Requirements

Development at *Round House with Turntable* is subject to the provisions of the local Town Planning Scheme (TPS5), Building Code of Australia, Health Act, fire safety regulations, and all other constraints applicable to property development. As compliance with regulations may have the potential to impact negatively on significant fabric owners and/or developers should seek the assistance of heritage professionals when considering development of the place.

Policy 67

Where proposed works arising from requirements to comply with statutory obligations have the potential to impact on fabric assessed as significant they should be assessed against the conservation policy in this conservation management plan and professional advice sought to assist in minimising impact on the significance of the place.

7.7 POLICIES RELATING TO FUTURE USE AND DEVELOPMENT

Future Use

Round House with Turntable was designed and constructed for the purposes of maintaining rail carriages and engines. This function ceased in the early 1970s, and the place has been vacant since. The place is owned by the State government, with the National Trust (WA) currently holding a management order over the place (2018). The local government (Shire of Collie) may be interested in taking over responsibility for the place.

At the time of preparation of this report final decisions have not been made about its future use. Future use will be to some extent contingent on whether management of the place changes hands, but the unique planning and construction of the place will also affect the ability to reuse it.

Establishing and ensuring an ongoing use for the place will be the most effective means of conserving it. Ideally use would be compatible so that the cultural values of the place are not lost. However, it is generally accepted that adaptive reuse is appropriate and sometimes necessary to ensure that a use is found to secure the conservation and future viability of the place.

Policy 68

The place should be used to aid in its ongoing conservation.

Policy 69

In determining a compatible future use for the place, the former uses of the place as a railway repair and maintenance depot should be recognised. Additionally, the degree of change required to the place should be evaluated. Compatible uses will require minimal change to significant fabric.

Policy 70

Changes required for future use should be minimised and easily reversible, and the original intent of the place should not be obscured. Values should not be obscured by change.

Policy 71

Where fabric is to be demolished or modified for adaptation, an archival record should be made of the place before works commence.

Policy 72

The current floor plan of the place closely approximates its original configuration and should be retained.

Future development

Development at *Round House with Turntable* should be limited to those areas where it does not impinge on significant views and access to the Round House, in the open space to the west, east and north of the Round House, on vacant land outside the registered curtilage, within Lot 561.

The following key policies underpin the future development of the place:

Policy 73

*Round House with Turntable must be retained and conserved. The area where development may occur is illustrated in **Fig. 8** – Future Development diagram.*

Policy 74

Any new development should be lightweight, clearly contemporary in design, and easily reversible. New structures should be located so as not to impinge on significant views of the place, or to require demolition of significant fabric.

Policy 75

New structures should be freestanding and reversible, with any connections to the existing buildings minimised.

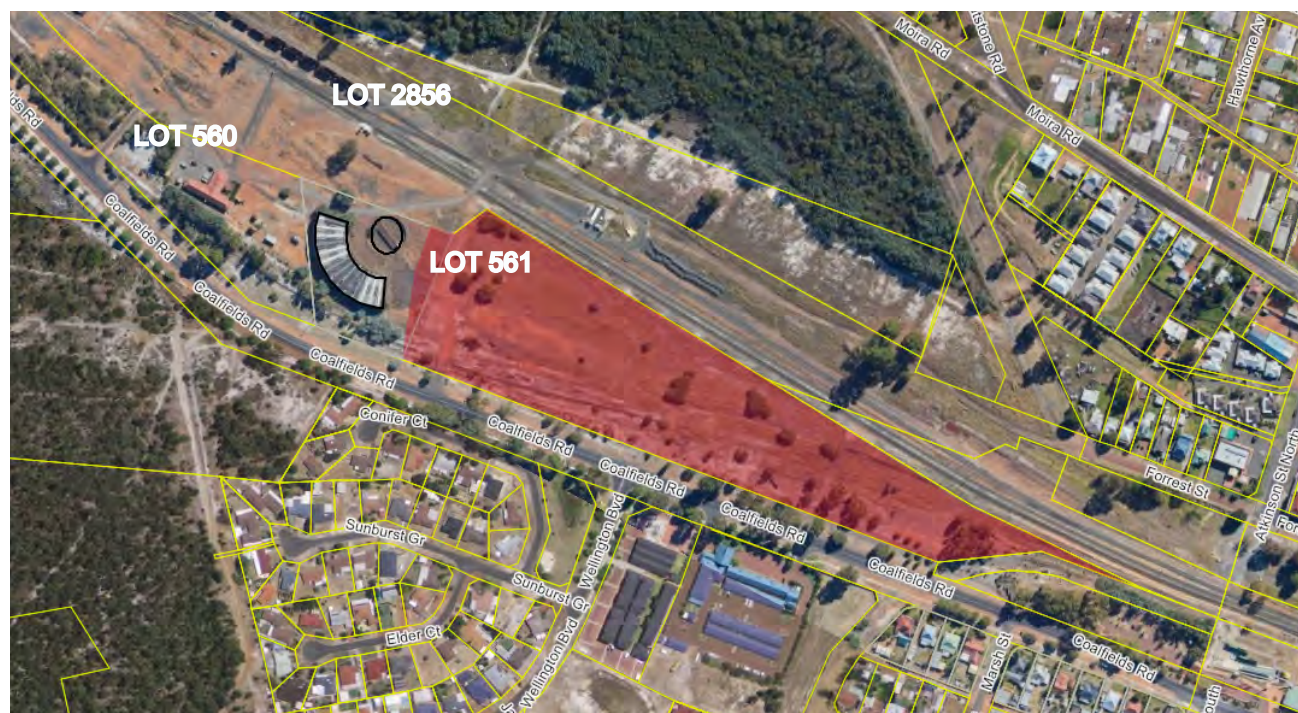


Fig. 8 Aerial image showing area for potential new development shaded in red. (Landgate image, adapted by DPLH, 2018)

Heritage impact statements

Where major change is proposed, a heritage impact statement is an effective method of assessing the proposal against the significance of the place to determine if it is appropriate.

Policy 76

Heritage impact statements should be prepared for specific development proposals to assess the potential impact of the proposal on the assessed significance of the place.

7.8 POLICIES RELATING TO RENEWABLE ENERGY SYSTEMS

The installation of renewable energy systems, such as solar panels, on existing buildings are becoming increasingly desirable and may potentially be a necessity with the move towards sustainable living. As places on the State Register are not exempt from the demand for such systems, the State Heritage Office has developed basic principles for the installation of renewable energy systems which minimise the impact of renewable energy systems on the significance of heritage buildings (**Appendix B**).

The potential impact of such systems is both on the visual setting and significant fabric

The guidelines can be summarised in the following policies:

Policy 74

Installation shall not negatively impact on the aesthetic and streetscape values. Systems should be located discreetly, and associated conduits not create unnecessary visual clutter. Generally main roof forms should not be negatively impacted by the system. Front and significant vistas should not be negatively impacted by the system.

Policy 75

Fixings and anchor points should, as much as possible, utilise existing points or be located so as to minimise damage to significant fabric. Installation should be readily reversible.

7.9 POLICIES RELATING TO INTERPRETATION

The cultural significance and the stories of places are sometimes not readily apparent, perhaps due to changes in use or the building's fabric. Significance can be explained through interpretation, which should enhance understanding and engagement, and be culturally appropriate.

Relevant Australian Historic Themes that could be interpreted are:

3.4.3 Mining

3.8.6 Building and maintaining railways

Suitable Heritage Council Heritage Themes are:

110 Resource exploitation and depletion

202 Rail and light rail transport

303 Mining (including mineral processing)

Policy 76

Significant fabric should be retained and conserved to assist in understanding Round House with Turntable.

Policy 77

A simple interpretive device outlining the significance of the Round House should be prepared and located to the front of the place. Any such device should be prepared by an appropriately qualified professional.

Policy 78

Consideration should be given to preparing an interpretation plan to tell the stories of the place. Any such plan should be prepared by an appropriately qualified professional.

7.10 POLICIES RELATING TO RECORDS AND MANAGEMENT

The requirement to keep records about places of cultural significance is guided by the Burra Charter. It is recommended that building files be maintained, keeping a record of all actions taken. Over time, this will create an archive that will be of use to future owners/managers of the place.

Policy 79

A record of all actions affecting the place should be maintained, and all key stakeholders made aware of it.

Careful management of *Round House with Turntable* is essential for its ongoing survival. Conservation is an integral part of the management of the place, and will be a key factor to be considered by those responsible for the management of the place.

It is critical that new owners/managers understand the importance of conservation of the cultural significance of the place, and integrate it into their management regime. A clear understanding of the cultural significance of the place is required to make informed decisions about management of the place. This conservation management plan will be a key guiding document for informing conservation of the place.

Policy 80

A single management entity should be responsible for the management of the place. Where this is not possible due to subdivision, single entities should be responsible for the management of the individual heritage buildings.

Policy 81

If the place has tenancy agreements, these agreements should clearly set out the heritage values of the place, and make provision to ensure that they are retained. This may take the form of setting out specific conservation and maintenance responsibilities for tenants.

8.0 POLICY IMPLEMENTATION

8.1 INTRODUCTION

This section outlines how the conservation policies should be implemented, and recommends a schedule of both conservation and maintenance works.

The primary care for the place lies with the owners. Ongoing and timely maintenance is the most important element in the conservation of the place, executed in accordance with relevant policies, including the use of professional advice and appropriately qualified contractors.

Generally the place is in fair condition, not having received regular maintenance, and it will require both immediate and ongoing maintenance to protect the significant fabric and values.

The following schedules have been prepared following conservation works, and inspections carried out over 2017 - 18 by DPLH Heritage Services staff.

Generally works should be executed in the order outlined below.

These works will be included in any Heritage Agreement between the Heritage Council of Western Australia and the owner/manager.

8.2 RECOMMENDED CONSERVATION WORKS SCHEDULE

Urgent Action – to be completed within 12 months

General

Further testing for contamination should be undertaken.

Landscape

Prune and clear all vegetation from Turntable and around and well clear of Roundhouse.

Roundhouse and Turntable

Remove rust from existing window frames, treat with rust inhibitor and paint with oil based primer and paint to match original colour scheme.

Remove all remaining glazing and reglaze to match original detail. Make good to framing.

Clean ceilings free from soot and contaminants throughout.

Abrasive blast clean steelwork throughout turntable. Prime and repaint steel with Durethane (or similar approved equal).

Replace asbestos roof to eastern end with corrugated Colorbond roof sheeting to match original profile.

Remove remaining asbestos lining from stud framing to eastern wall and replace with compressed fibre cement sheet to match original detail.

Prepare and paint timber bargeboards to Turntable.

Remove boards to Turntable as specified, and recover viable boards for reinstatement. Replace to match original, and treat with lanolin, sand and oil.

Remove deteriorated floorboards to Roundhouse as specified, and replace with new to match.

Sand and oil existing and new floorboards with Lanotech.

Rust treat and paint existing galvanised flashings.

Flush out rainheads and clean staining from concrete.

Engage structural engineer to inspect cracking to walls.

Re-form downpipe feet (bays 10 and 12) to correct alignment.

Replace deteriorated timber fascias to match original detail. Prepare and paint.

Short-term Action – to be completed within two years

Landscape

N/A

Roundhouse and Turntable

Replace grate cover at rear of bays 1 and 7 to match existing.

Remove broken chain link mesh from gate in Bay 1 and replace to match.

Clean fire damage from rear wall, bay 4, and make good to match original.

Clean ceiling extractors and repair. Remove asbestos lining, where extant, and replace with compressed fibre cement panel to match original detail.

Replace broken skylight glazing to match original detail. Make good to framing.

Re-form handrail to Turntable as specified to match original.

Patch repair holes in facades.

Remove redundant wall fixings and make good to concrete.

Bend downpipe to rear of bay 7 to original alignment.

Trim gate canopy (external wall bay 6) to clear existing downpipe.

Reform canopy track (bay 13) into correct alignment.

Prepare and paint bases of painted columns in white to match existing detail. Do not paint unpainted columns.

Replace existing roof access ladder with new.

Medium-term Action – to be completed within five years

Landscape

Implement landscape scheme appropriate to industrial nature of building.

Roundhouse and Turntable

Repaint bay numbers over openings to match original detail (bays 1 - 7 only)

Desirable Action

Landscape

N/A

Roundhouse and Turntable

N/A

8.3 RECOMMENDED MAINTENANCE SCHEDULE

As needed:

Keep vegetation on the perimeter of structures trimmed short.

Promptly remove graffiti.

Annually:

Inspect buildings for termites and other potentially damaging pests; treat as necessary.

Inspect exterior timber for deterioration; prepare and finish as necessary.

Clean gutters and downpipes for free flow, prior to winter.

Inspect for rising damp or water penetration and repair immediately as necessary.

Inspect and repair glazing as necessary, to match existing.

Inspect roof cladding, flashings and rainwater goods and repair as necessary.

Inspect building for cracks and signs of movement or other failure.

Five Yearly:

Inspect metal roofing, fixings, wall flashings, box gutters and downpipes for corrosion and repair as necessary, to match existing.

Painting Cycle:

Regular interior repainting programme: 7 - 10 year cycle

Regular external repainting programme: 7 year cycle

Round House with Turntable, Collie Conservation Management Plan

Policy Implementation

9.0 REFERENCES

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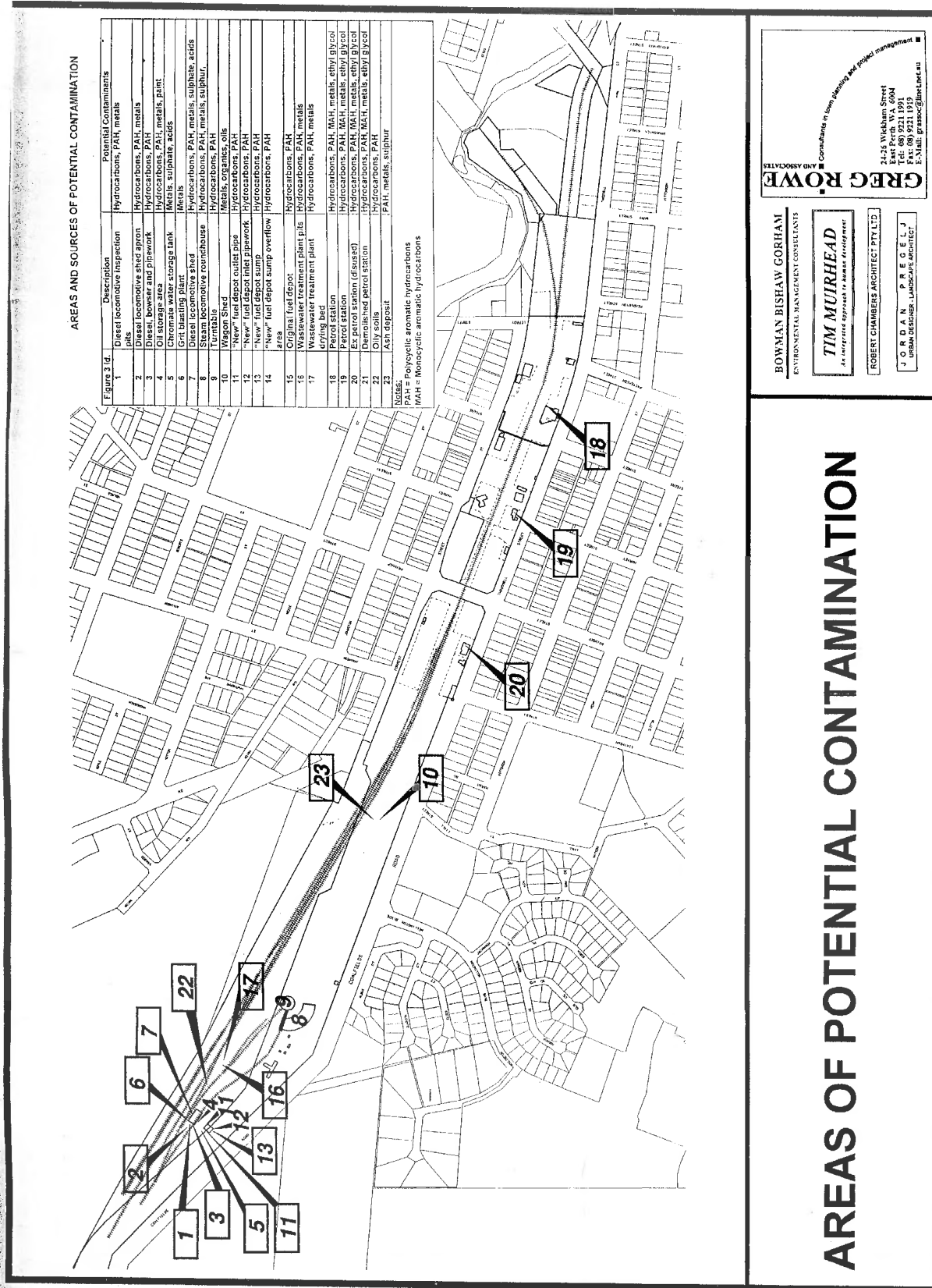
Round House with Turntable, Collie Conservation Management Plan

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APPENDIX A

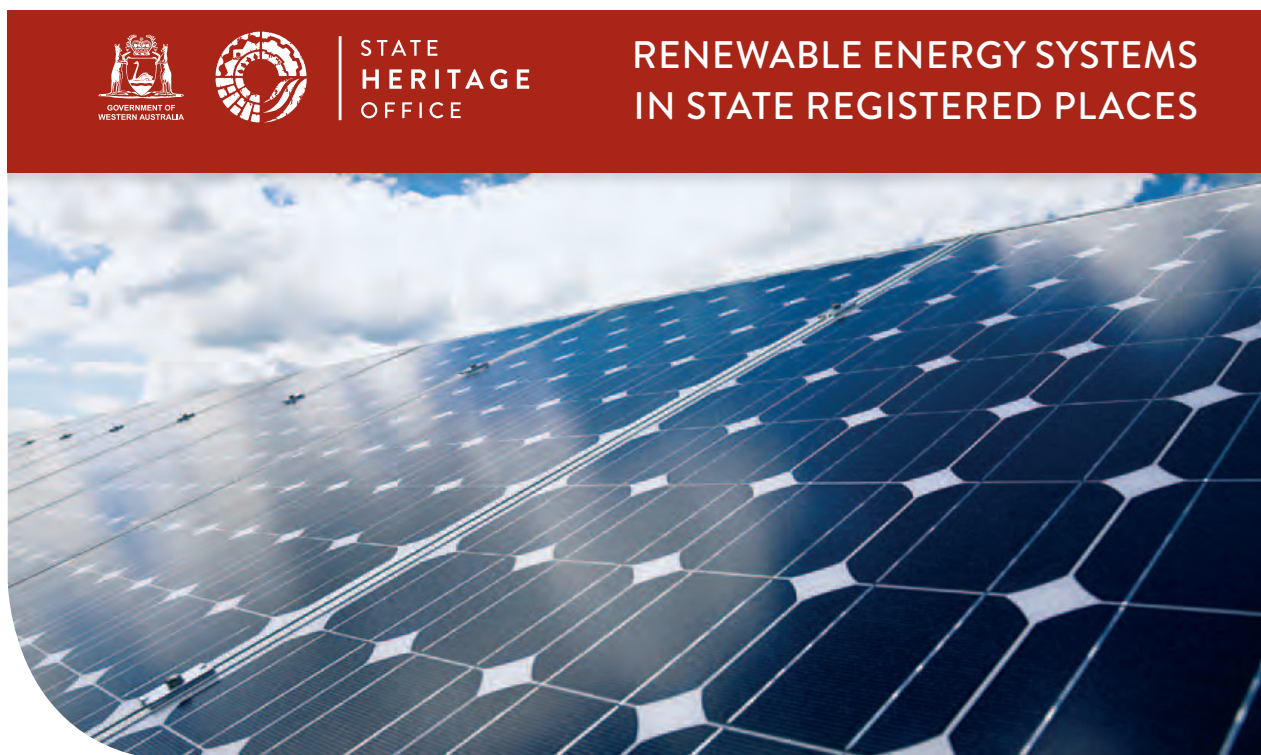
Areas of potential contamination

(Preliminary Site Assessment for Potential Environmental Contamination, Greg Rowe and Associates, undated)



APPENDIX B

Renewable energy systems in State Registered Places



INTRODUCTION

The installation of renewable energy systems, such as solar panels, on existing buildings are becoming increasingly desirable and may potentially be a necessity with the move towards sustainable living. As places on the State Register of Heritage Places are not exempt from the social change, the demand for the installation of such systems has increased.

This guideline sets out basic principles on how assessment is approached for the impact of the installation of renewable energy systems on the cultural heritage significance of State registered places.

The guideline is aligned to the State's sustainability strategy as set out in "Hope for the Future: the Western Australian State Sustainability Strategy", prepared in September 2003.

Aim of the Guideline

To minimise the impact of renewable energy systems on the cultural significance of heritage buildings.

Objectives of the Guideline

To increase awareness of appropriate installation of renewable energy systems, such as solar panels and wind turbines, on heritage buildings, through:

- the identification of the main issues;
- the consideration of the Burra Charter principles; and
- the setting of basic principles.

Identification of Main Issues

The two main issues associated with the installation of renewable energy systems on State registered places are the impact on significant fabric and visual setting.

The installation of such systems may require electrical work, plumbing, and fixings/anchor points on walls or roofs which could potentially have an impact on significant fabric. This impact may be minimised if done in a sympathetic and sensitive manner.

The visual impact of the systems may also be detrimental to the place. Main frontages, significant vistas to and from the place, and form and mass of the place need to be considered to guide the location of the equipment.

Burra Charter Principles

The Burra Charter (the Australia ICOMOS Charter for Places of Cultural Significance) is regarded by the Australian Heritage Council as one of three seminal documents of the heritage conservation profession, namely the Australian Natural Heritage Charter for the Conservation of Places of Natural Heritage Significance and Ask First: A Guide to Protecting Indigenous Places.

The articles set out in the Burra Charter form “first principles” on which assessments of proposed developments to State registered places are made. The installation of renewable energy systems on State registered places would be considered and assessed under similar principles.

Articles from the Burra Charter which are relevant to the installation of renewable energy systems are as follows:

Burra Charter Articles

Article 3.1 – Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible.

Article 3.2 – Changes to a place should not distort the physical or other evidence it provides, nor be based on conjecture.

Article 8 – Conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place. New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

Article 15.1 – Change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The amount of change to a place should be guided by the cultural significance of the place and its appropriate interpretation.

Article 15.2 – Changes which reduce cultural significance should be reversible, and be reversed when circumstances permit.

Article 22.1 – New work such as additions to the place may be acceptable where it does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.

Article 27.1 – The impact of proposed changes on the cultural significance of a place should be analysed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes following analysis to better retain cultural significance.

Article 27.2 – Existing fabric, use, associations and meanings should be adequately recorded before any changes are made to the place.

First Principles

The installation of renewable energy systems is to be respectful of the place, with as little intrusion into significant fabric as possible.

The installation of renewable energy systems is to retain the visual setting of the place.

The installation of renewable energy systems is to be readily reversible.

The installation of renewable energy systems must not distort, obscure or detract from the significance of the place.

The installation of renewable energy systems is to be analysed against the Statement of Significance and Conservation Plan (if available) of the place.

If the installation of renewable energy systems requires removal of fabric, recording of the change is required.

Setting Principles

In light of the two main issues and in the context of the Burra Charter, the following basic principles are to be applied when considering the installation of renewable energy systems in State registered places:

1. The significance of the place as stated in the Statement of Significance must not be negatively impacted on by the installation of the system.
2. The conservation policies as set out in the Conservation Plan (if available) must be considered when proposing the type and location of the renewable energy system for the place.
3. The visual setting of the place, particularly of its main frontage and the dominant roof, must be maintained. The system must not detract from the visual presentation of the place to its main street or significant vista.
4. The main roof form or shape must not be negatively impacted on by the system.
5. All necessary electrical and plumbing conduits for the system should not create unnecessary visual clutter.
6. Fixings and anchor points should, as much as possible, utilise existing points or be located so as to minimise damage to significant fabric.
7. The installation of the system must be readily reversible.
8. If the installation of renewable energy systems requires removal of fabric, recording of the change is required.

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